



ITEM #8: For the ARCHITECTURAL COMMISSION on MONDAY, December 15, 2014 @ 7:00 P.M.

REQUEST: Consideration of modifications to the approved elevations for Building 1 in the Long Grove Commons PUD for the for the “Primrose School” submitted by Mr. John Finnemore

HISTORY:

The Long Grove Commons received approval as a Planned Unit Development in May of 2005 as part of that approval building elevations were approved by the Architectural Commission. The architectural plans were reviewed for Building #1 as part of this approval. Buildings 1 and Building 2 are the last two buildings left to be constructed in the development. The lots on which these structures are proposed have remained vacant since they were approved in 2005. The approved elevations and structure (attached) per the PUD do not meet needs of the petitioner. Modifications to the structure as proposed are similar to those previously approved per the PUD approval and require AC approval.

The Cloverleaf Group, property owner and the Primrose School, contract purchaser, requested reconfiguration of the parking area Lots 6 & 7 (adjacent to buildings 1 &2) and the modification of the building footprint for Lot 7 (Building 1). This would be done to accommodate the needs of the proposed tenant and contract purchaser (of both Lots 6 & 7) Primrose Schools. This request was approved by the Village Board as a minor PUD amendment at their November 11th regular meeting.

Proposal:

Staff has received a request for changes to Building 1 to accommodate the Primrose School of Long Grove. Petitioners have requested the change due to the needs of their business. Details of the request are attached for the review and consideration of the AC.

Site Plan:

The site plan remains essentially the same. Total square footage of all buildings remains under the cap of 38,030. Building 1 will still be a 2 story building but the second floor will now be utilized instead of vacant space. Total square footage for structure on lots 6 & 7 were calculated at 15,800 sq ft. As proposed Primrose would have a building foot print of 6418 sq. ft. which is less than the 8,060 sq ft. anticipated under the original approval. Originally and “L” shaped building the structure as now proposed is rectangular.

Parking is reconfigured however. As originally calculated 39 regular plus two handicapped spaces were allocated for Lot 7/Building 1. As built, 41 spaces plus 2 handicapped spaces were built. While spaces were assigned to each structure, the entire development is “cross-parked” meaning that any parking space is available for any store on-site. As proposed 39 spaces will be allotted for Lot7/ Building 1 (plus 2 handicapped) which is the original number calculated for this portion of the development. See the attached diagram for reconfigured parking plan.

Lot coverage will actually decrease from the original proposal given the smaller building footprint and play areas anticipated for the proposed use of the property.

Building Elevations

Attached are the approved elevations for Building 1 per the Long Grove Commons PUD approval. As proposed this building was an “L” shaped two story building with false second floor. Materials proposed for the building were hardiboard and stone siding with asphalt shingles.

Proposed elevations for the building are attached. As noted the structure will have a smaller footprint with an occupied second floor. The structure will be placed in the same general location as anticipated in the original approval. Parking is proposed to be reconfigured and has been approved as a minor amendment to the original PUD approval.

Petitioners are proposing a two story structure similar in nature to the PUD approval. Material for the proposed structure include; hardiboard siding, stone and asphalt shingles, similar to those in the original approval. Earthtones are anticipated for the building color scheme. Material samples are anticipated to be presented at the meeting.

ARCHITECTURAL COMMISSION DECISION:

The property is zoned B-2 PUD and elevations for all structures were approved as part of the PUD approval. Petitioners are proposing a two story structure similar in nature to the PUD approval including colors and materials for the structure.

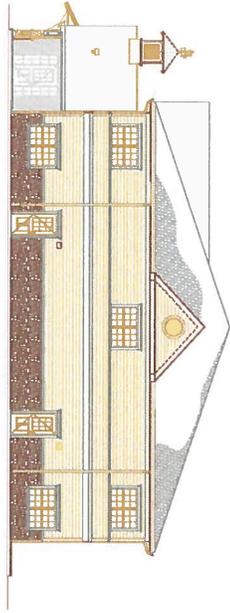
Minor modifications to allow reconfiguration of the parking area have been approved as a minor amendment to the approved PUD. Aside from this modification the proposed site plan remains consistent with the original PUD approval. Lot coverage will actually decrease from the original proposal given the smaller building footprint and play areas anticipated for the proposed use of the property.

The AC should review the modified structure for consistency with the character of the development and make recommendations as appropriate.

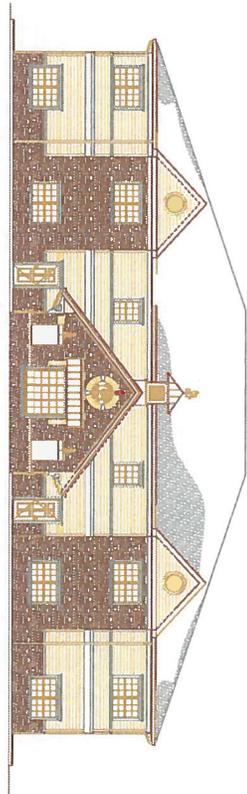
Respectfully Submitted,

James M. Hogue

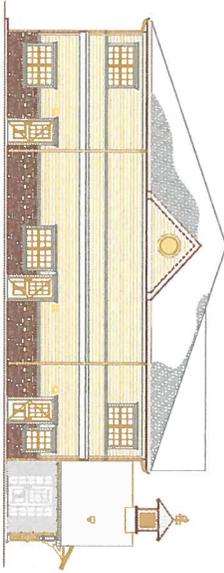
**James M. Hogue
Village Planner**



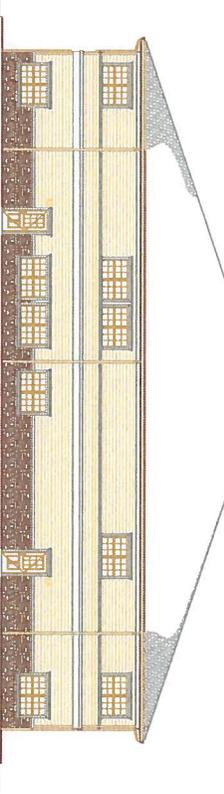
NORTHWEST ELEVATION



NORTHEAST ELEVATION



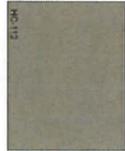
SOUTHEAST ELEVATION



SOUTHWEST ELEVATION



SIDING



PAINT: TATE OLIVE



PAINT: SANDSTONE BEIGE - TRIM



STONE



STANDING SEAM ROOF & SUPPORTS

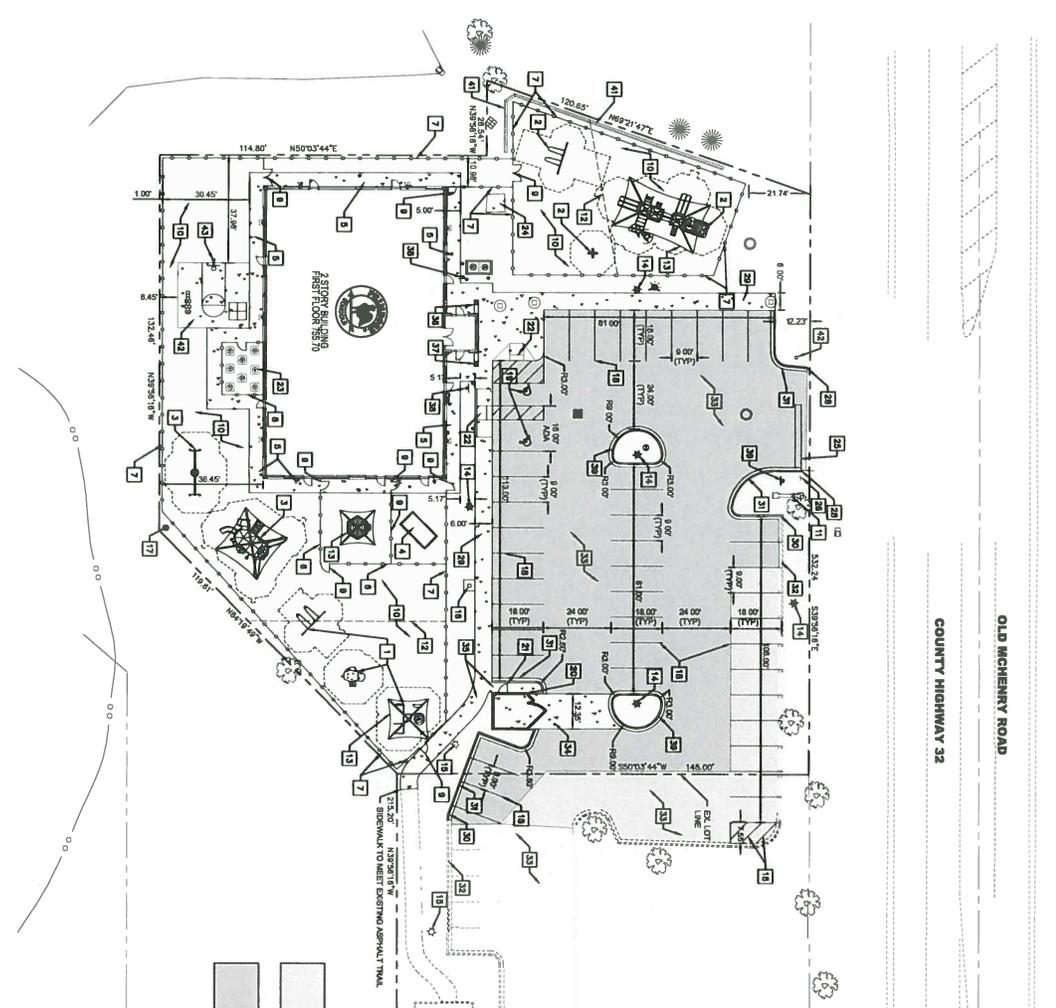


SHINGLES

EXTERIOR COLOR SCHEDULE

- 1 TRIM: TATE OLIVE
POST & RISERS
FINIC 10 TATE OLIVE
WOODSIDE TRIM
EXTERIOR LIGHT FIXTURES
- 2 EXTERIOR: TATE OLIVE
TO MATCH HORIZONTAL SIDING
GUTTER, WALLS, SUTTERS AND
AND DOWNSPOUTS, SORTS
EXTERIOR FLOORING FINISH
- 3 SANDSTONE BEIGE - TRIM
SANDSTONE BEIGE - TRIM
SANDSTONE BEIGE - TRIM
SANDSTONE BEIGE - TRIM
- 4 SIDING
SANDSTONE BEIGE - TRIM
SANDSTONE BEIGE - TRIM
SANDSTONE BEIGE - TRIM
- 5 ASPHALT SHINGLES
HARVEY & HAY
SHINGLES
SANDSTONE BEIGE - TRIM
GUTTER, DOWNSPOUTS
SANDSTONE BEIGE - TRIM
- 6 STANDING SEAM ROOF
NOTE: ALL ROOF HUNG COMPONENTS SHALL BE PAINTED TO
MATCH SIDING COLOR
- 7 STANDING SEAM ROOF & SUPPORTS
ASPHALT SHINGLES - 1" x 4"
GUTTER & DOWNSPOUTS
SANDSTONE BEIGE - TRIM
SANDSTONE BEIGE - TRIM
SANDSTONE BEIGE - TRIM
- 8 STONE
ASPHALT SHINGLES
GUTTER, DOWNSPOUTS
SANDSTONE BEIGE - TRIM

<p>Children's Design Group Mark D. Pinesy, AIA - Architect PO BOX 1868 5117 SHELBY RD DUBLIN, GA 31004 (770)-546-2624 childrensdesigngroup.com</p>	<p>A New Building For: Primrose School Franchising Company 3660 Cedarcrest Road Acworth, Georgia 30207 Copyright © 2018 Primrose School Franchising Company</p>	<p>These drawings and the design represented hereby are the exclusive property of Primrose School Franchising Co. Reproduction or any use of these drawings other than for the project and site for which they were prepared is strictly prohibited. Any unauthorized use will be subject to legal action.</p>
<p>Electronic files & hardcopy</p>	<p>Site PROVIDING SITES OF NEW PROJECTS OPTIONAL NO</p>	<p>Building Type NC-2018-A</p>
<p>Drawing Title EXTERIOR ELEVATIONS</p>	<p>Date 08/20/18 Drawing Number Cdn_HSP A-4</p>	<p>Revision</p>



1 PRELIMINARY SITE PLAN
SCALE: 1" = 20'



- KEYNOTES**
- 1 EXIST. PRESCHOOL PLAYGROUND EQUIPMENT (SEE ARCHITECTURAL PLAN)
 - 2 PRESCHOOL PLAYGROUND EQUIPMENT (SEE ARCHITECTURAL PLAN)
 - 3 AFTER SCHOOL PLAYGROUND EQUIPMENT (SEE ARCHITECTURAL PLAN)
 - 4 PLAYGROUND PATCH 6'x12' AND SIGN (SEE ARCHITECTURAL PLAN)
 - 5 5W SIDEWALK (SEE ARCHITECTURAL PLAN)
 - 6 4\"/>

<p>DATE: 04/20/14 DRAWN BY: J31 CHECKED BY: J31</p>	<p>DATE: 04/20/14 DRAWN BY: J31 CHECKED BY: J31</p>
<p>PROJECT: PRELIMINARY SITE PLAN DRAWING NUMBER: C-100</p>	<p>DATE: 04/20/14 DRAWN BY: J31 CHECKED BY: J31</p>

2000 N. OLD MCHENRY ROAD
LAVERGNE, ILLINOIS 62450

BUILDING TYPE:
TWO-STORY

RME Rubincoc & Meola
Engineers, Inc.

1000 N. MICHIGAN AVE.
SUITE 100
CHICAGO, IL 60604
(312) 963-1473 FAX

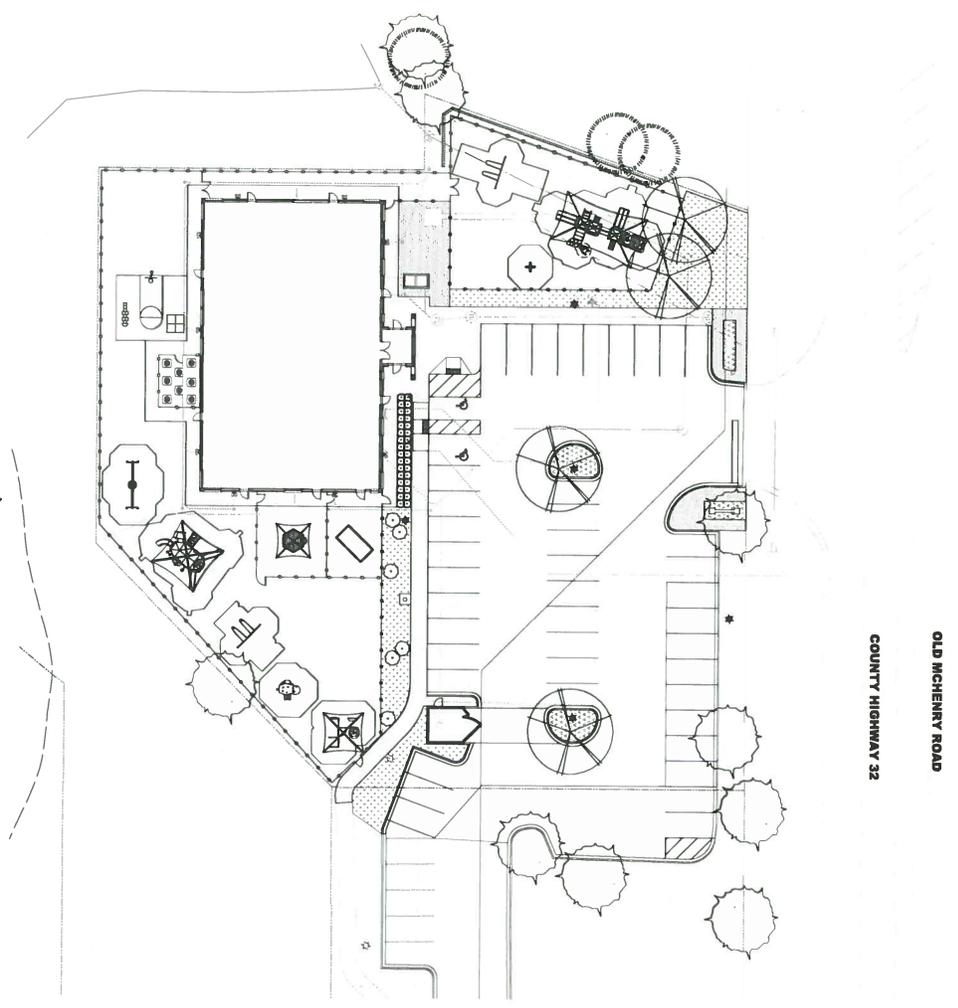
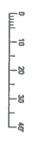
Design Firm Registration No. 184-000529

A New Building For:
Primrose School Franchising Company

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Acworth, Georgia 30161
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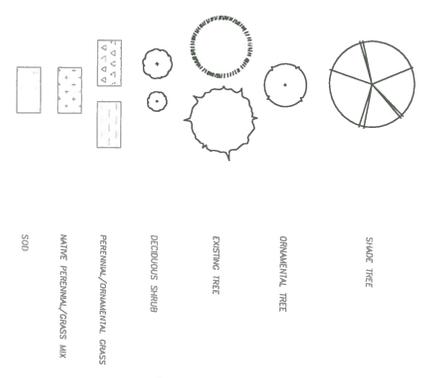
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1 LANDSCAPE PLAN
1/20/20



OLD MCHERRY ROAD
COUNTY HIGHWAY 32

PLANT LEGEND



SYMBOL	PLANT NAME	PLANT SPECIES	PLANT SIZE	PLANT QUANTITY	PLANT NOTES
ST	SHADE TREE	AMERICAN BEECH	24"	1	PLANT IN PARKING LOT
OT	ORNAMENTAL TREE	SMALL ORNAMENTAL TREE	12"	1	PLANT IN PARKING LOT
ET	EXISTING TREE	SMALL ORNAMENTAL TREE	12"	1	PLANT IN PARKING LOT
DS	DECIDUOUS SHRUB	SMALL SHRUB	12"	1	PLANT IN PARKING LOT
PG	PERENNIAL/ORNAMENTAL GRASS	PERENNIAL GRASS	12"	1	PLANT IN PARKING LOT
MG	MIXED PERENNIAL/GRASS MAT	MIXED PERENNIAL/GRASS MAT	12"	1	PLANT IN PARKING LOT
SOD	SOD	SOD	12"	1	PLANT IN PARKING LOT

Juli Ordower
 LANDSCAPE ARCHITECT
 2343 N. JANSSEN AVE
 CHICAGO, IL 60614
 773.336.3816

2343 N. OLD MCHERRY ROAD
 CHICAGO, ILLINOIS

Building Type:
 TWO-STORY

Drawing Title:
 LANDSCAPE PLAN

Drawing Number:
 L-100

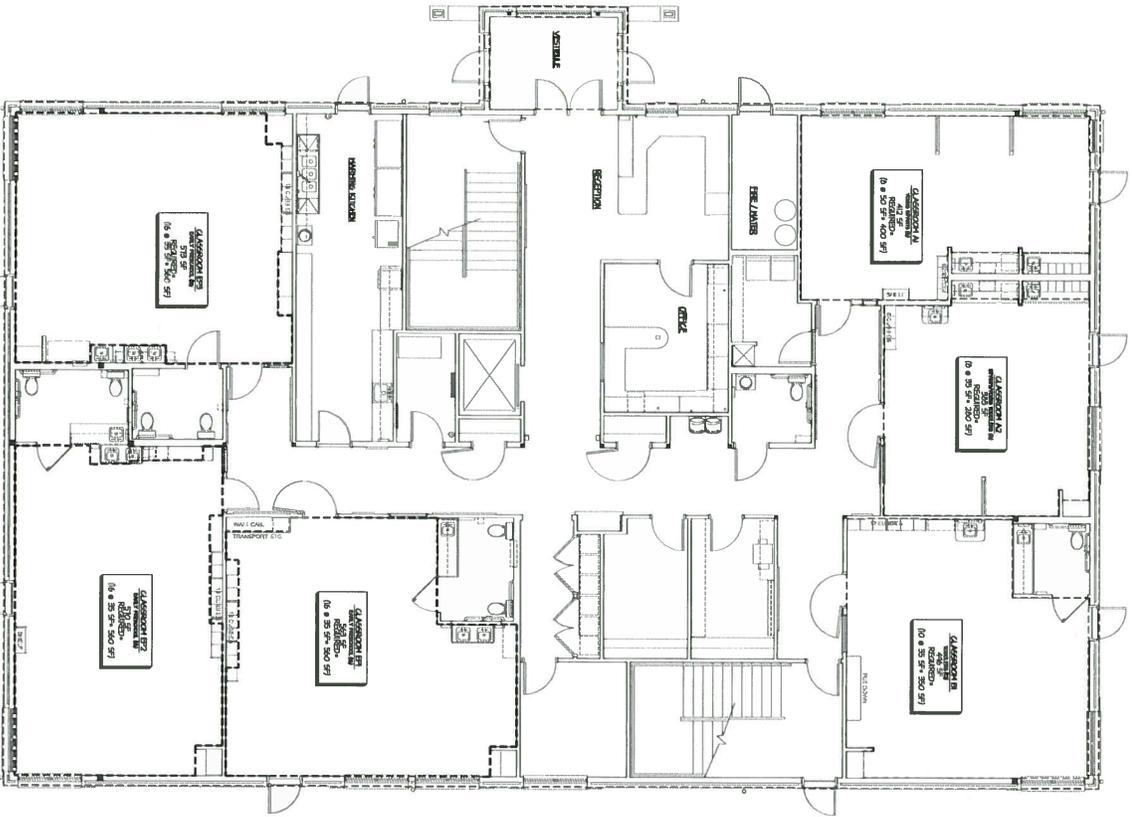
Date:
 1/20/2014

Drawing Scale:
 1/8" = 1'-0"

Project:
 TWO-STORY

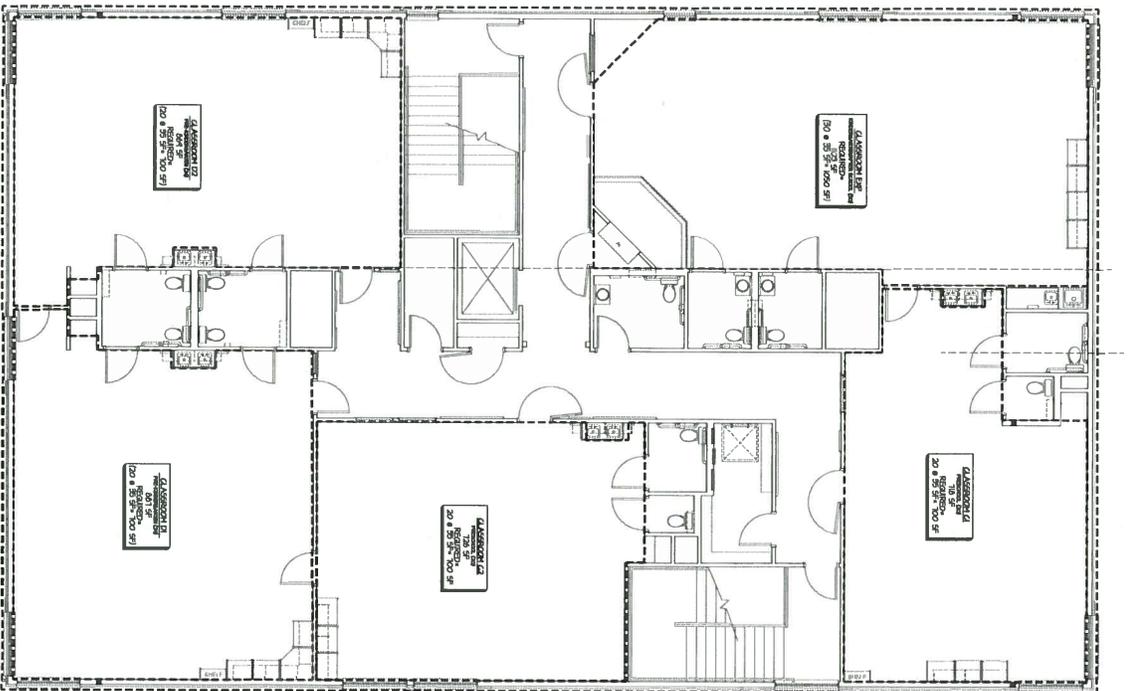
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1ST FLOOR LICENSING PLAN
 SCALE: 3/16" = 1'-0"
 1ST FLOOR AREA = 6,155 SF

OCCUPANT LOAD CALCULATION			
ROOM	USE	AREA	OCCUPANT LOAD
CLASSROOM 12	CLASSROOM	120 SF	20
CLASSROOM 13	CLASSROOM	120 SF	20
CLASSROOM 14	CLASSROOM	120 SF	20
CLASSROOM 15	CLASSROOM	120 SF	20
CLASSROOM 16	CLASSROOM	120 SF	20
CLASSROOM 17	CLASSROOM	120 SF	20
CLASSROOM 18	CLASSROOM	120 SF	20
CLASSROOM 19	CLASSROOM	120 SF	20
CLASSROOM 20	CLASSROOM	120 SF	20
CLASSROOM 21	CLASSROOM	120 SF	20
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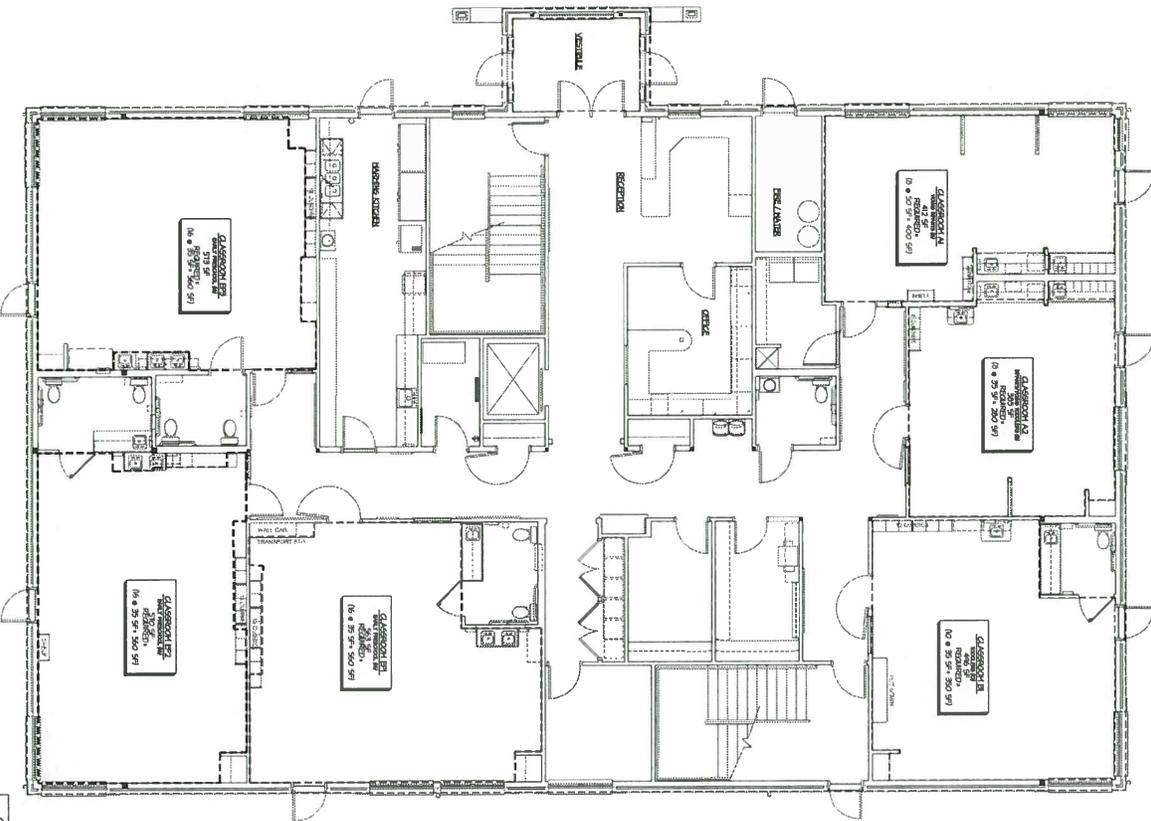
2ND FLOOR LICENSING PLAN
 SCALE: 3/16" = 1'-0"
 2ND FLOOR AREA = 6,621 SF
 TOTAL AREA = 12,776 SF

Site:	Primrose School of Old Selwyn Road Long Grove, IL
Building Type:	LL-2 School
Drawing Title:	LICENSING/FLOOR PLAN
Date:	07/27/2014
Drawn by:	CAJ
Checked by:	CAJ
Drawing Number:	A-1.4
Revision:	



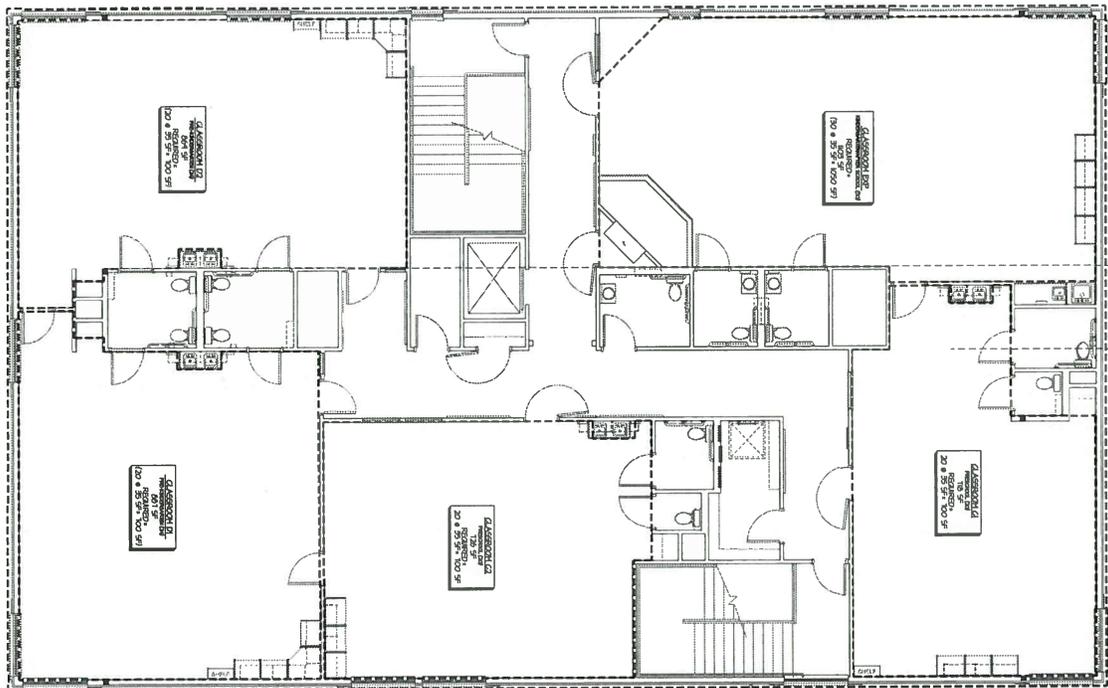
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1ST FLOOR LICENSING PLAN

SCALE: 3/16" = 1'-0"
1st FLOOR AREA = 6,155 SF



2ND FLOOR LICENSING PLAN

SCALE: 3/16" = 1'-0"
2ND FLOOR AREA = 6,631 SF
TOTAL AREA = 12,786 SF

SEATING LOAD CALCULATION

AREA	SEATING CAPACITY	SEATING TYPE	LOADING
CLASSROOM 101-108	240	24" x 24"	2
CLASSROOM 201-208	240	24" x 24"	2
STAIRS	100	24" x 24"	1
OFFICE	100	24" x 24"	1
RESTROOM	100	24" x 24"	1
MEETING	100	24" x 24"	1
RECEPTION	100	24" x 24"	1
STORAGE	100	24" x 24"	1
TOTAL	1,220		



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Site:	Primrose School at Long Grove Road Long Grove, IL
Building Type:	IL-2 School
Drawing Title:	LICENSING/SEATING FLOOR PLAN
Date:	07/28/2014
Drawing Number:	A-1-14
Revisions:	

Primrose-23064 N. Old McHenry Road, Long Grove, IL Statement of Project Objectives

Primrose School Franchising Company is the pre-eminent provider of educational based private preschools/Kindergartens and child care centers in the United States with over 290 locations. Primrose, along our Franchise Owners, Jenny and Rich Wierzchon are very eager to bring the quality care and excellent academic programs that Primrose provides to Long Grove.

The proposed licensed capacity of the facility will be 184 students (30 of the 184 students will be in the kindergarten/afterschool program). Also, Primrose and industry data indicate that approximately 25% of families have a second child enrolled which would reduce the number of families to approximately 140 at capacity. Staff at capacity will be 24.

The proposed Primrose is a 13,500sf, (2) story facility with approximately 16,000sf of playground area. There will be a (41) stall parking lot with direct, full access to Old McHenry Road and access via easement to Lake Zurich Road.

The Primrose hours of operation will be from 6:00 AM to 6:00 PM, Monday-Friday. Primrose is an excellent neighbor for the adjacent properties because we operate during daytime hours and are closed evenings and weekends.

The property is zoned PUD and when the PUD was approved in 2004, a child care center was anticipated to be constructed in the same location on Lot 7 as Primrose is now requesting the Village of Long Grove to approve. The elevations for the previously approved child care depicted a faux two story building. Primrose is proposing a fully functional two story building and is thus in keeping with the original design intent of the development. Existing utilities have been supplied to the pad area and will be utilized by Primrose. The existing road connections to Old McHenry and Lake Zurich Roads will remain as constructed. The internal circulation drives within the development will also remain unchanged. Lot 6 is being purchased by Primrose however, at this time there is not a proposed use for the existing building pad.

A minor change to the existing parking lot is requested; we are proposing to turn the parking stall configuration 90 degrees to better align with the placement of the Primrose facility and its main entry. In addition, the previously proposed building was "L" shaped and wrapped around the parking lot. The two story Primrose will be a rectangle and therefore the parking lot will also be straightened along the West line to form a continuous curb/sidewalk along the front building elevation. The current parking lot appears to have been designed for 44 stalls (not all of the lot is currently striped, therefore, some interpretation of the proposed striping is required) and the new configuration will yield 40 stalls which includes the required 2 Handicapped stalls.

Primrose looks forward to discussing a Minor Amendment to the PUD for the subject property at the November 11, 2014 Village Board meeting which will be the first step in developing a high quality, education based private school/child care facility for the families of Long Grove.



STRUCTURE/FIXTURE ARCHITECTURAL COMMISSION APPLICATION

DATE: _____

APPLICANT'S NAME: PRIMROSE SCHOOLS E-MAIL: JFINNEMORE@PRIMROSESCHOOLS.COM
ADDRESS: 3660 CEDARCREST ROAD PHONE: 770/310-8755

NAME OF BUSINESS: PRIMROSE SCHOOL OF LONG GROVE

BUSINESS ADDRESS: 23064 N. OLD MCHENRY PHONE: TBD

TYPE OF STRUCTURE/FIXTURE: (2) STORY WOOD FRAME SLABS ON GIRANE CHILD CARE / PRIVATE PRE-SCHOOL

- 1. LOCATION OF STRUCTURE/FIXTURE ON PROPERTY: A. PROVIDE SITE PLAN. B. PROVIDE PHOTOGRAPH OF SITE. C. SQUARE FOOTAGE OF STRUCTURE 13,382 SQUARE FEET.

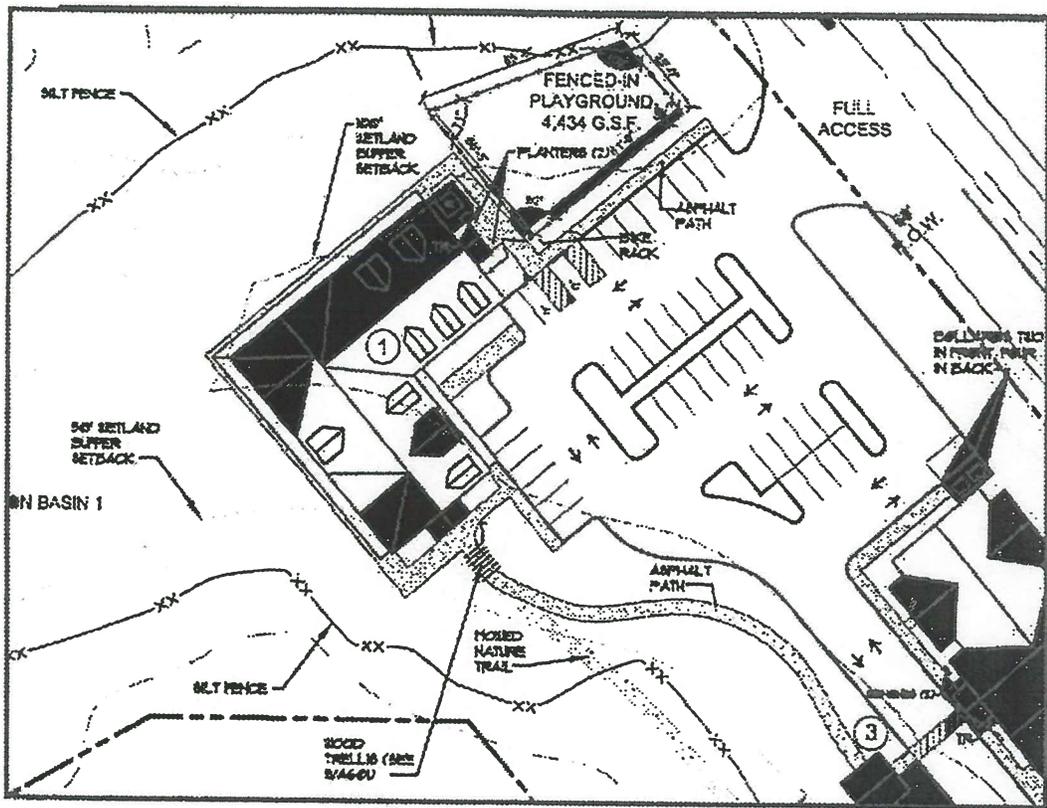
- 2. DRAWING OF PLANNED STRUCTURE/FIXTURE: A. DIMENSIONS. B. ELEVATIONS (ALL DIRECTIONS). C. LIST MATERIALS TO BE USED/SAMPLE OF COLORS.

3. NAME, ADDRESS, AND PHONE NUMBER OF FIRM ERECTING OR MANAGING STRUCTURE: TBD PHONE: _____ E-MAIL _____

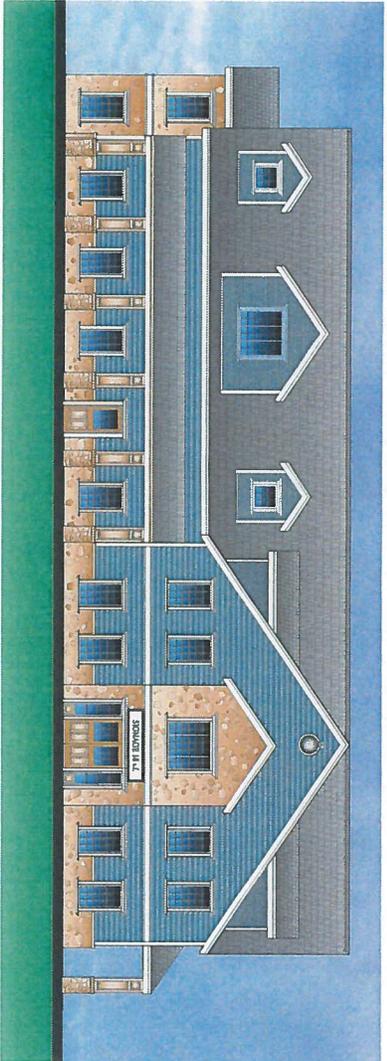
The property owner's signature is required below before any application may be processed. It is understood by the property owner(s) that he or she has read and understands the regulations governing the commercial property under this application in the Village of Long Grove, accepts and is liable for any corrections or modifications required to meet the standards of the Village, and further approves the work to be done on their property.

BUSINESS OWNER(S) 11-24-14 JOHN FINNEMORE - PRIMROSE SCHOOLS
PROPERTY OWNER(S) LOT 6 LLC, LOT 7 LLC BY THE CLOVERLEAF GROUP INC. Senior Vice President/ITS Mgr 11-25-14

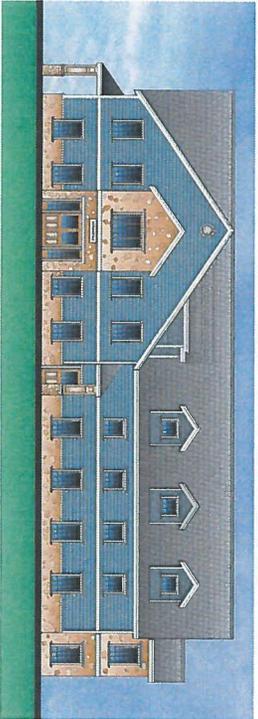
APPLICATION APPROVAL: _____ DATE: _____



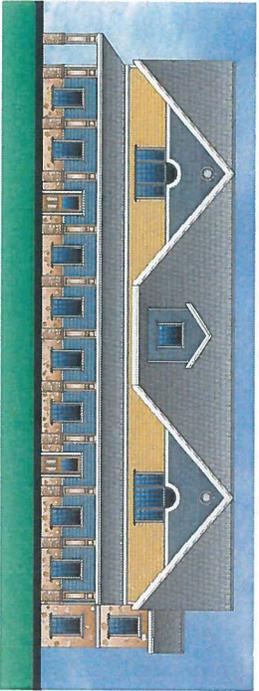
① ENLARGED SITE PLAN - BUILDING 1
 SCALE: 1/4" = 1'-0"



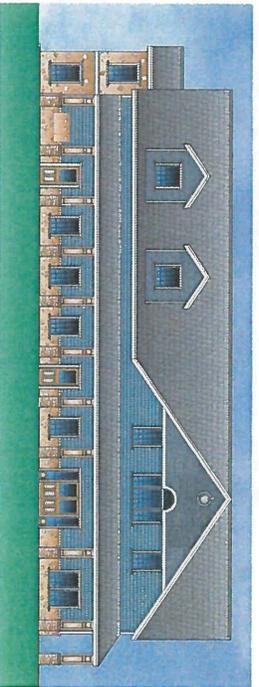
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

LONG GROVE COMMONS

Building 1

March 21, 2005

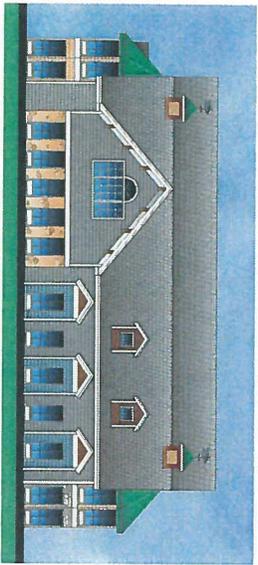
Christopher Kidd & Associates, LLC.
Architects & Engineers
1000 North 10th Street, Suite 100
Chicago, Illinois 60610
Phone: 312.467.1000 Fax: 312.467.1001
www.christopherkidd.com

Long Grove, IL

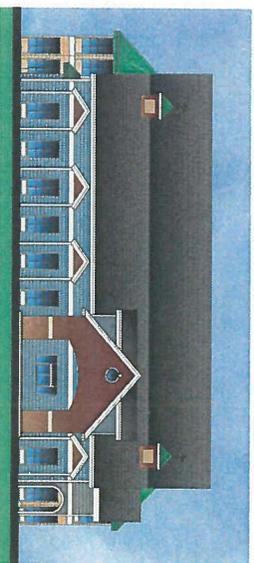
 The Cloverleaf Group, Inc.



SOUTH ELEVATION
SCALE: 3/4" = 1'-0"



WEST ELEVATION
SCALE: 3/4" = 1'-0"



EAST ELEVATION
SCALE: 3/4" = 1'-0"



NORTH ELEVATION
SCALE: 3/4" = 1'-0"

March 21, 2005

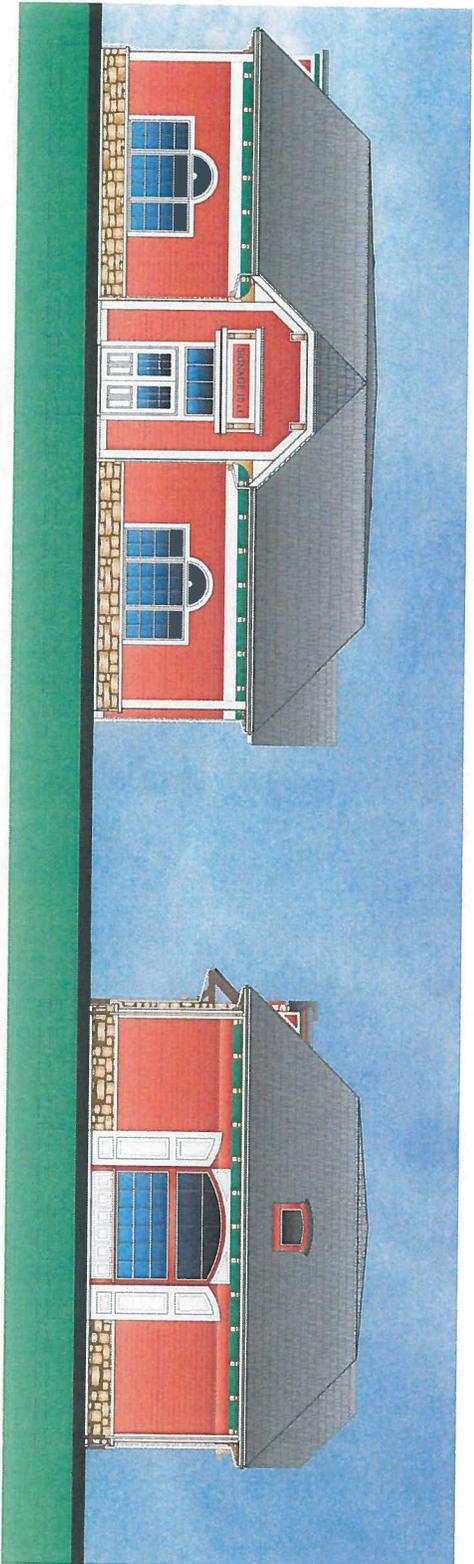
Christopher Kuhl & Associates, L.L.C.
Architects
225 South Main Street
Chicago, Illinois 60604
Phone: 312.467.1234
Fax: 312.467.1235
www.christopherkuhl.com

LONG GROVE COMMONS

Long Grove, IL

Building 6

 The Cloverleaf Group, Inc.



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

EAST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

WEST ELEVATION
SCALE: 1/8" = 1'-0"

LONG GROVE COMMONS

Exterior Elevations - Building 7

Scale: Not to Scale

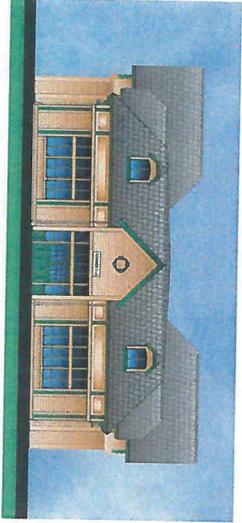
Christopher Kidd & Associates, L.L.C.
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Long Grove, IL

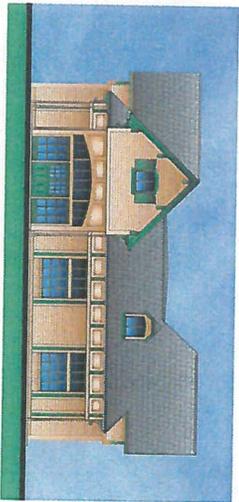
 The Cloverleaf Group, Inc.



EAST ELEVATION
SCALE: 3/4" = 1'-0"



SOUTH ELEVATION
SCALE: 3/4" = 1'-0"



NORTH ELEVATION
SCALE: 3/4" = 1'-0"



WEST ELEVATION
SCALE: 3/4" = 1'-0"

Scale: Not to Scale

LONG GROVE COMMONS

Long Grove, IL

Exterior Elevations - Building 8