

Item #2:
Report Of The March 21, 2011 AC Meeting



**AGENDA
ARCHITECTURAL COMMISSION
REGULAR MEETING**

Monday, March 21, 2011 at 7:00 P.M.

CALL TO ORDER:

ACTION ITEMS:

1. **Approval of the February 21, 2010 Draft Rescheduled Meeting Minutes.**
2. **Consideration of a request for a gazebo structure and signage to be placed on Archer Road, adjacent to the Archer Parking lot to be known as the "The Long Grove Pavilion" and within the B-1 Historic District, submitted by Mr. Claire Ball of the LGBCP.**

OTHER BUSINESS:

ADJOURNMENT: Next Scheduled Meeting: April 18, 2011, @ 7:00 P.M.

The Village of Long Grove is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to phone David Lothspeich, Long Grove Village Manager at 847-634-9440 or TDD 847-634-9650 promptly to allow the Village of Long Grove to make reasonable accommodations for those persons.



LONG GROVE BUSINESS AND COMMUNITY PARTNERS

Visitors Information Center • 307 Old McHenry Road • Long Grove, IL 60047 • 847-634-0888

www.longgroveonline.com

March 14, 2011

Jim Hogue, Village Planner
Village Architecture Review Board

CONCERNS: Long Grove Pavilion

The following is an update on the design and construction of the new pavilion for downtown Long Grove that was previously approved by the Village Architecture Board last year. The pavilion originally approved has been revised and updated to provide additional space for village concerts and other social activities. Specific changes include:

- Increasing the size from 10 by 20 ft to 14 by 24 ft
- Supporting the pavilion on 8 concrete piers
- Using a concrete slab for the floor
- Modifying the design slightly to reduce the cost of the project

Details of the pavilion design and construction are:

- Pavilion will be located at the same location previously approved and show in attached site plan, Figure 1
- Pavilion will be supported on 8 concrete piers (one per column). Each pier will be 12" in diameter by 42" deep reinforced with four #5 rebars vertically tied with #3 horizontal stirrups. Concrete will be a minimum 6 bag, 4000psi air entrained mix.
- Pavilion floor will be a 14 by 24 ft concrete slab cast on a compacted 3" thick sub-base. Concrete will be 7 bag high early strength mix with chert free aggregate. Slab will be reinforced with wire mesh and one expansion sawcut joint will be placed midway between the 24 ft length. Isolation/expansion joints will be provided around each column and between the slab and existing sidewalk. Additionally, the existing sidewalk brick adjoining the edge of the new slab will be removed during construction, the sand sub-base will be recompact after the slab is cast, and the brick will be reinstalled.

- Handicap access will be provided on the southeast end where the concrete floor meets the existing sidewalk. Handicap access markers, the same as used in the new street/parking lot project, will be embedded in the concrete slab.
- Pavilion will be a 14 by 24 ft rectangular traditional white vinyl pavilion, similar to the smaller four column pavilion shown in Figure 2. Plan views of the pavilion are shown in Figure 3. Columns are 5 by 5 in., 10 ft high. Roof is a single tiered roof with dual gray asphalt singles to match the adjoining buildings. There will be a cupola, as shown in Figure 2.
- Lighting will be installed in the pavilion ceiling for night activities and concerts. Electrical power will be run to the pavilion underground.
- The ground surrounding three sides of the pavilion will be sloped to the top surface of the pavilion slab with grass.
- To acknowledge Sunset Foods donation to the construction of this pavilion, a sign similar to the one shown in Figure 4 will be placed next to the pavilion. Sign design is similar to the new village signs. Specific lettering and Sunset logo are still to be finalized.

In order to justify the cost and benefit of the pavilion, the project needs to be completed before the April 29 – May 1, 2011 Chocolate Festival. We appreciate your help and cooperation. If you have any questions or additional information, please call me at 847-660-3460 or John Maguire at 847-716-0902.



Claire Ball
Long Grove Business and Community Partners
Project Manager

PAVILION

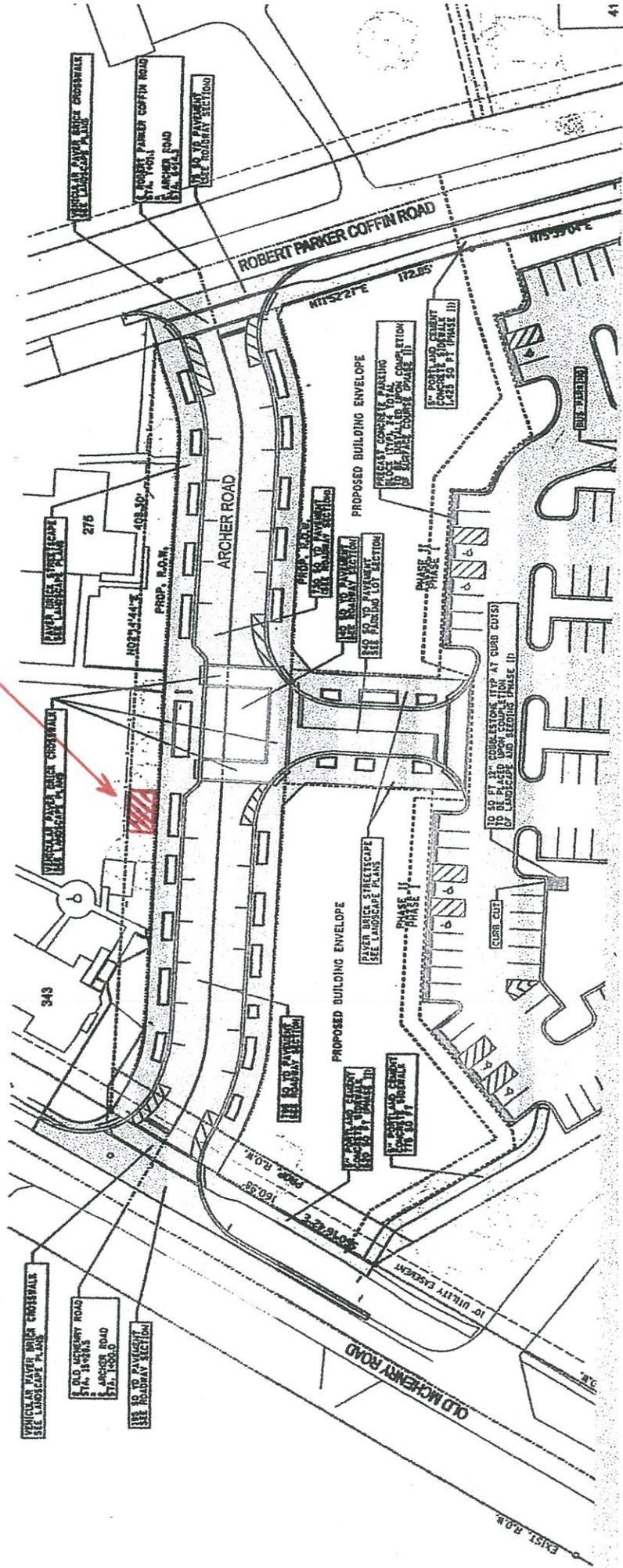


Figure 1 – Long Grove Pavilion Site Plan



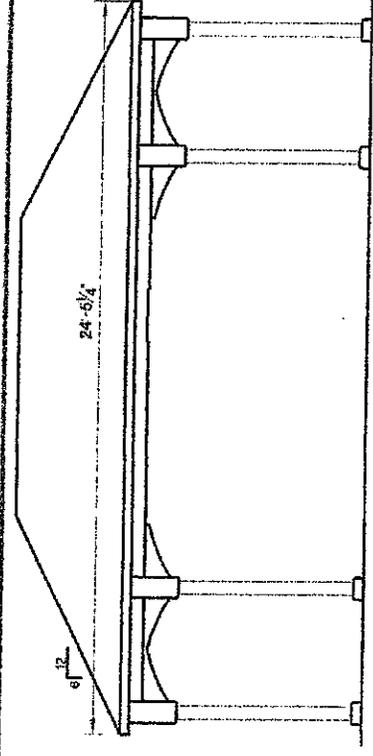
Figure 2 – Pavilion Style Photograph



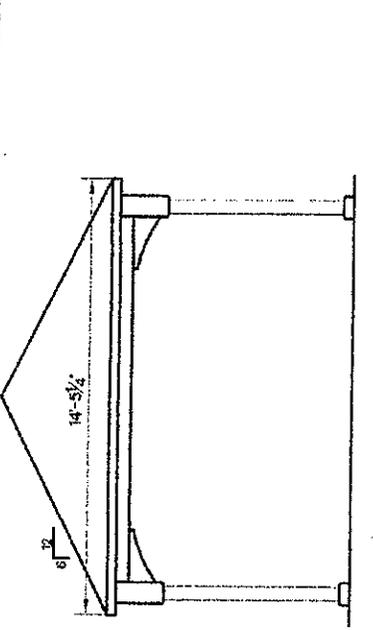
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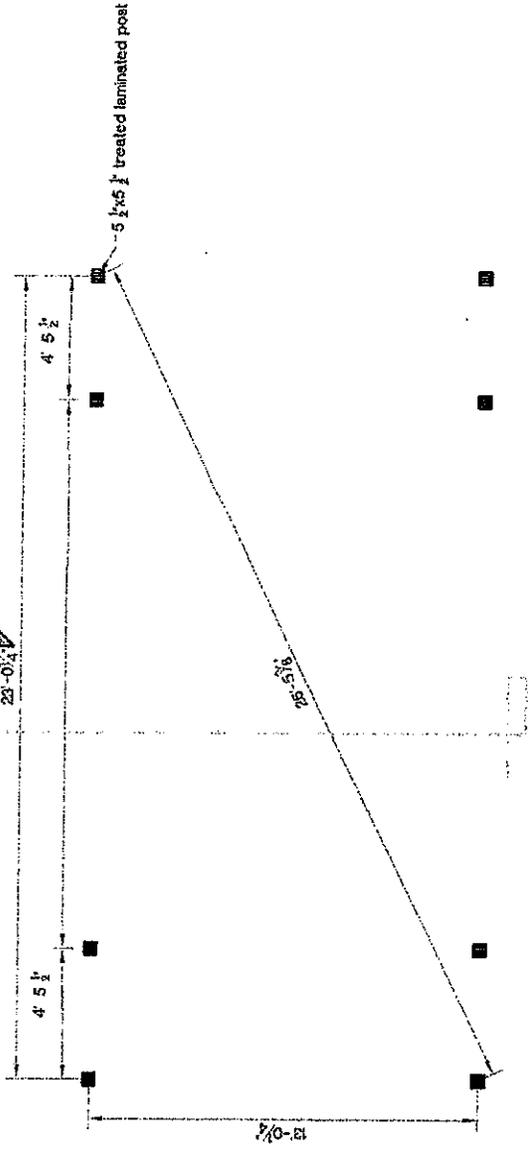
DATE: 8/27/2000	BY: [Signature]
PROJECT: Standard Drawings for a 14'24' PVC Rectangle Pavilion	
DRAWING TITLE: Benches Post Layout Plan	



End Elevation
 Scale 1/4" = 1'-0"



Side Elevation
 Scale 1/4" = 1'-0"



Post Layout Plan
 Scale 1/4" = 1'-0"

Figure 3 – Pavilion Plan Views



Non Expanded PVC

1/2" Depth

2' x 3'

Routed

Digitally printed logo

Laminated

Double Sided

New Hardware

Posts

Installed

Figure 4 – Pavilion "Sunset Foods" Sign



ITEM #4: For the ARCHITECTURAL COMMISSION on MONDAY, March 21, 2011 @ 7:00 P.M.

REQUEST: Consideration of a request for a gazebo structure and signage to be placed on the west side Archer Road, adjacent to the Archer Parking lot to be known as the "The Long Grove Pavilion," and within the B-1 Historic District, submitted by Mr. Claire Ball of the LGBCP.

HISTORY/STAFF REVIEW:

History: Approximately one year ago Mr. John Maguire of the LGBCP presented a proposal for a gazebo and signage to be erected by the Long Grove Lions Club. The AC reviewed and approved this request (previous plans attached). The gazebo as presented was not constructed. A new amended "pavilion" structure is being proposed in approximately the same location as the previous structure but has been modified and is larger than what was previously approved. As such, reconsideration by the AC is necessary.

Proposed Project:

The request is being made by Mr. Claire Ball the Long Grove Business & Community Partners (LGBCP). Funds for the construction of the structure are being provided by Sunset Foods.

As proposed a pavilion structure measuring 14' x 24' is being contemplated as an addition to Archer Parking Lot. Elevations, a photograph and site plan of the proposal (Figures 1, 2, & 3) are attached for the consideration of the AC.

As proposed the structure would be placed on Village property adjacent to (if not actually in) the right-of-way of Archer Road. The logic of placing the structure in this location is that 1) it is close to the Visitors Center; 2) it is close to the parking lot and provides a convenient drop off/ pick-up point for visitors, particularly those who may be handicapped; 3) it provides a recognizable and prominent meeting/gathering point for visitors to the downtown; 4) it provides a venue to allow performances at the various festivals in the downtown area.

While the benefits of locating the structure as proposed seem positive, there are a multitude of zoning and policy issues associated with this proposed location. The task of the AC is to once again evaluate the look of the structure in relation to character of the downtown area and to be particularly concerned with the zoning and policy issues associated with the request. If these issues cannot be resolved then the structure cannot be built as proposed.

SIGNAGE REQUEST –

This request also includes a request for signage as attached in Figure 4. The sign will be constructed of one-half inch non-expanded PVC with a routed digitally printed logo. The sign will be laminated and ground mounted on posts. The sign will be brown, grey with black lettering on a cream background. The overall design of the sign will consistent with the pattern for signage contemplated for the entire downtown once funding is available for such signage. This design for signage was created as an offshoot to the Downtown Master Plan and Design Guidelines process.

The sign may be considered a “directional and warning sign” which is permit exempt if the sign contains 2 square feet of copy area. Per the Village Code sign area is calculated as follows;

“Sign Measurement: The term "sign area" shall include the gross surface area of each sign with a single continuous perimeter enclosing the extreme limits of the sign and in no case passing through or between any adjacent elements of the sign. Such a perimeter shall not include any structural or framing elements lying outside the limits of such sign and not forming an integral part of the display”.

Using this definition staff calculates the area of the sign at 3 square feet. To qualify as a “directional and warning sign the “area” would need to be reduced by 1 square foot. Please note the 2’ x 3” dimension refers to the area of the entire sign face and does not exclude perimeter or framing elements of the sign face.

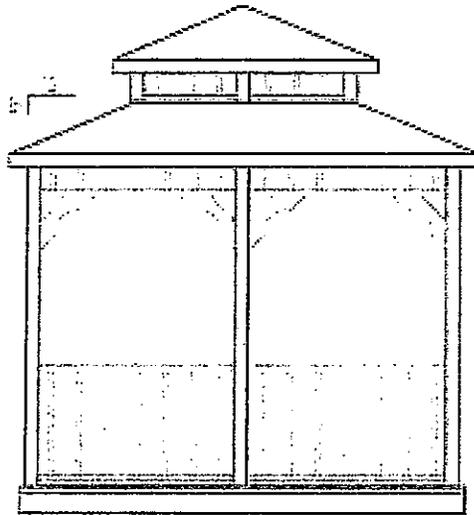
ARCHITECTURAL COMMISSION DECISION:

Aside from the zoning issues the AC should review the proposed pavilion structure as it relates to the overall character of the historic downtown. No specific standards are identified for such structures other than the general parameters of the “Long Grove Style” as found in the Village Code (attached) and the “Downtown Design Guidelines” (excerpts attached).

If the proposed signage is reduced to two (2) square feet then the sign may be considered a “directional and warning sign” which is permit exempt but is being brought to the attention of the AC with regard to the overall implementation of the Downtown Master Plan and Design Guidelines.

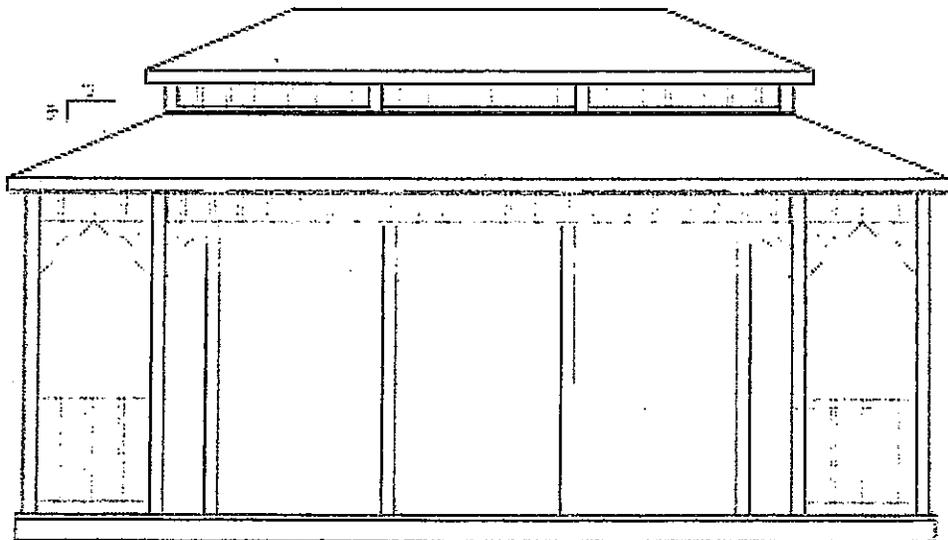


PREVIOUS APPROVAL



SIDE ELEVATION 'Ø'X2Ø' SCALE 1/4"=1'-0"
PAGODA ROOF

PREVIOUS APPROVAL



FRONT ELEVATION 'Ø'X2Ø' SCALE 1/4"=1'-0"
PAGODA ROOF

readily available funds at the discretion of the village and the proceeds thereof used by the village for the completion of the work. (Ord. 2004-O-11, 6-8-2004)

7-2-4: LONG GROVE STYLE:

(A) Description: The Long Grove style shall be described as follows: The historic buildings of the village are a blend of two (2) traditions, generally recognized by architectural historians as:

1. The Greek revival, which was typical of buildings built before the Civil War and which was in many respects a continuation of the colonial period. Roof pitches were lower than colonial, gables usually turned to the street, cornices, pilasters and columns, where present, were Greek in proportion and inspiration.

2. The Victorian, which was typical of buildings built from after the Civil War to 1890. Ceilings were higher, windows larger, ornamentations and columns often very elaborate and not derived from classical sources. (Ord., 5-22-1973)

(B) Examples: The following buildings in or near the village are suggested examples of proportion detail and general feeling and are considered typical of Long Grove style:

1. Stemple Store on the southwest corner of Old McHenry and Long Grove Roads.

2. Sauer-Hans Store on the southeast corner of Old McHenry and Long Grove Roads.

3. Sauer-Summer Kitchen attached to Sauer Barn behind Sauer-Hans Store.

4. Sauer-Hans, south of Sauer-Hans Store.

5. Long Grove Church.

6. Kitson Residence on the west side of Quentins Road just north of Palatine Road.

7. Bergland Home on Hicks Road south of Route 53. (1979 Code)

(C) **Consideration In Judging Plans:** In judging plans for the Long Grove style, the following points are considered as descriptive of the existing type buildings listed above:

1. **Roofs:** Shall be pitched four to twelve (4:12) or steeper and must join at a hip. Pitched roofs shall be visible from all exterior elevations. Mansard roofs are permissible if they clearly follow an historic precedent.

2. **Cornices:** Boxed on main buildings; overhang not to exceed one foot (1'); fascia boards broad; liberal use of mouldings.

3. **Walls:** Clapboards, vertical boarding; brick, smooth or sanded, soft light red color or painted; split faced limestone laid with natural bedding or fieldstone, no stone not native to area.

4. **Sash:** Shall be double hung casement or fixed. In a Greek revival building sash, light size shall not exceed ten inches horizontal by fourteen inches vertical (10" x 14"). In a victorian building, it shall not exceed sixteen inches horizontal by thirty inches vertical (16" x 30").

Fixed display windows shall be divided by muntins to the above standards except as modified with documented historic precedent.

5. **Doors:** Raised panel construction with or without glass panels.

6. **Paint:** Buildings or trim shall be painted in colors appropriate to period of Long Grove style. Exact samples of color scheme must be submitted. This must be done on any repainting and new construction. The manufacturer's name and number must also be included.

(D) **Minor Remodeling:** In minor remodeling, work shall adhere as closely as possible to above standards, but these may be modified where existing materials make strict compliance difficult. Existing buildings, constructed of nonconforming materials, may be remodeled in the materials of their present construction, unless the remodeling is so extensive that there is no great hardship in their being brought into conformance with the spirit of this chapter. (Ord., 5-22-1973)

7-2-5: **SUBMISSION OF PLANS:** To facilitate each decision, all plans submitted shall be accompanied by plans and elevations accurately drawn to not less than one-fourth inch ($\frac{1}{4}$ " scale, sufficiently detailed to reasonably show the extent and character of such

proposed work. The special architectural board¹ shall be the judge of the sufficiency of such drawings. It shall be the intent that all buildings constructed, remodeled or added to under this chapter clearly follow specific historic precedent. To this end, with each application shall be submitted photographs, accurate drawings or other documentation illustrating one or more historic buildings constructed between 1820 and 1890 in the United States or southern Canada, preferably in the Middle West, which buildings shall be used as a prototype in judging the plans submitted. The applicant must demonstrate that he has captured both the spirit and the detail of his prototypes. The selection of the prototype must be approved by the architectural board as being appropriate to the period and style of Long Grove referred to in this chapter. (Ord., 5-22-1973)

[REDACTED] (ONS;

(A) Objective shall be the objective of this chapter that all buildings [REDACTED] shall:

1. Have an overall height with no single horizontal exterior dimension exceeding fifty feet and a minimum height of at least ten feet (10%) of the overall height.

2. Be equally detailed from all directions, front, back and rear. Both side and rear of all buildings shall have windows and/or other exterior details of interest. All loading and unloading means.

3. Have no mechanical or electrical equipment visible from the outside, whether by chimney, vent, or otherwise, at all, except transformers or any other equipment necessary for the operation of the building.

(B) [REDACTED] shall be constructed or modified in a manner that shall be in the best interest of the property and welfare of the residents in the village.

1. See title 2, chapter 3 of this code.

