

**Item #1:**  
**Report Of The October 5, 2010 PCZBA Meeting:**  
**Side Yard Setback Variation For 1262 Pottawatomie, Weisberg**



## MEMORANDUM

**TO:** Village President and Village Board  
**FROM:** James M. Hogue, Village Planner  
**DATE:** October 6, 2010  
**RE:** Board & Commissions Report for 10/12/10

This memo is intended to update the Village Board as to the status of projects and activities of the Long Grove Plan Commission & Zoning Board of Appeals (PCZBA), Conservancy & Scenic Corridor Committee (CSCC) and the Architectural Board (AB).

**AB; Next Meeting 10.18.10**

**CSCC; 10.6.10 Regular Meeting; Cancelled**

**PCZBA; 10.5.10; 1 Action Item**

**PUBLIC HEARING:** Consideration of a petition for variation of the side yard set-back requirement (south side) from the required 40 feet down to 30 feet within the R-2 District for the construction of an addition to an existing single family dwelling for property located at 1262 Pottawatomie Court, Submitted by Mr. David Weisberg.

Planner Hogue reviewed the staff report included in the packet to the PCZBA. He explained the history of Country Club Estates Subdivision and the variations granted as part of that approval. He noted the variation requested is an authorized variation as identified in the Village Code. The request is, in his opinion, a minimal variation request allowing a variation of 10 feet on the south side lot line from the required 40 feet down to 30 feet. This would allow a small addition (22' x 10') to be placed on the existing structure. This would allow the existing south wall of the house to be extended to the front of the house and essentially "square up" the structure. Planner Hogue noted that the existing south wall of the house meets the 40' set back requirement. As the lot is pie shaped this setback cannot be met toward the front of the lot.

Mr. David Weisberg, the petitioner, testified that he did not build the house but was the present owner. Due to the configuration of the house and other improvements to the property this is only location on the property where an addition could be placed to the existing residence. The "pie shaped" configuration of the property keeps him from meeting the required setback on this portion of the lot. He had spoken with his neighbors and no objections had been raised to him. Other than the petitioner, there were no other members of the public present at the hearing.

The ZBA found that the requested variation was minimal and the standards for hardship had been met. The configuration of the existing structure (as purchased by Mr. Weisberg) and shape of the property caused a hardship in constructing the addition in a conforming manner. Additionally, no members of the public attended the hearing in opposition of the request.

The Commissioner Rubin made a motion, seconded by Commissioner Gertz to recommend approval of the variation of the side yard set-back requirement (south side) from the required 40 feet down to 30 feet within the R-2 District for the construction of an addition to an existing single family dwelling for property located at 1262 Pottawatomie Court as submitted by Mr. David Weisberg subject to the following conditions;

- The petitioner fully complies with the tree preservation ordinance as it relates to the construction of the proposed addition.
- The proposed addition is in "substantial conformance" with the elevations dated October 1, 2010 as created by J. R. Burns Associates and presented at the public hearing.

This motion was approved by a vote of six (6) ayes and zero (0) nays (1 absent).

BEFORE

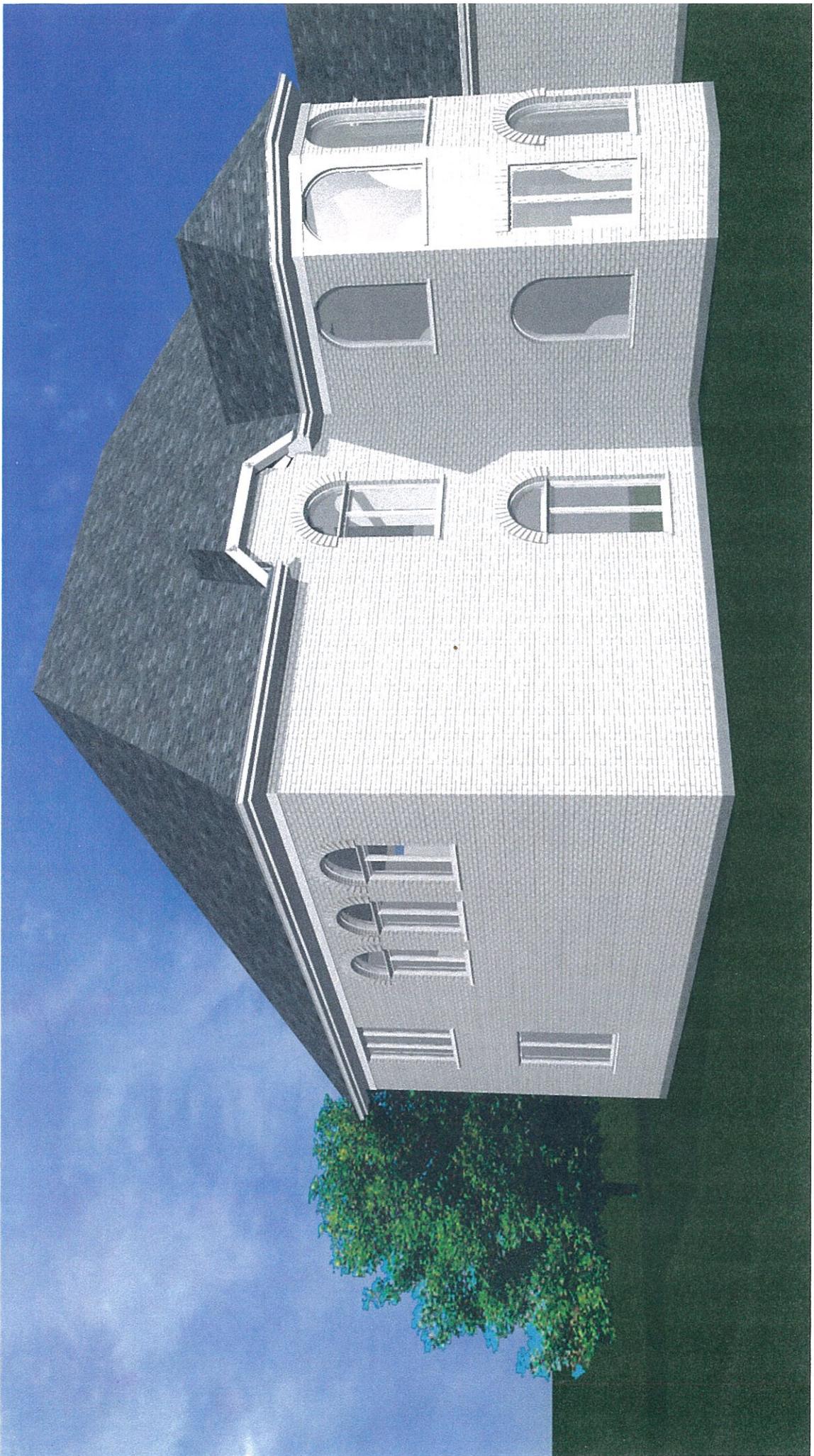




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ADULT PROPERTY

AFTER



**GENERAL NOTES**

- DO NOT SCALE DRAWINGS. WRITE DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE. DIMENSIONS ARE TAKEN FROM FACE OF FRAMER WALL TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE ON PLAN.
- VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE JOB BEFORE BEGINNING WORK. CORRECT AND RECONSTRUCT ALL DIMENSIONS AND CONDITIONS AS SHOWN ON DRAWINGS AND REPORT ANY DISCREPANCY TO ARCHITECT. NOTE: MECHANICAL EQUIPMENT SHALL BE DESIGNER'S RESPONSIBILITY.
- THESE GENERAL NOTES SHALL APPLY TO ALL DIMENSIONS AND CONDITIONS NOTED ON DRAWINGS AND APPROVAL TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL.
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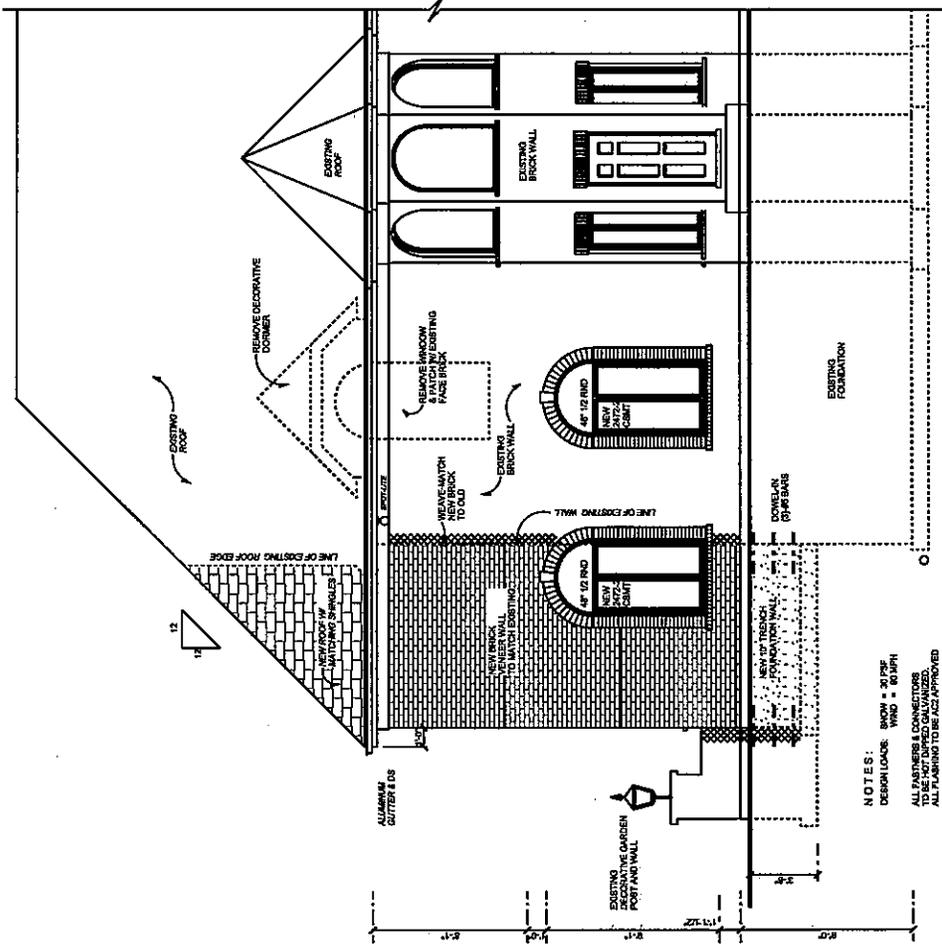
**SHEET SCHEDULE**

| NO. | SHEET CONTENTS                          |
|-----|---|
| 1   | FRONT ELEVATION                         |
| 2   | RIGHT SIDE ELEVATIONS                   |
| 3   | FIRST FLOOR PLAN                        |
| 4   | SECOND FLOOR PLAN                       |
| 5   | FOUNDATION PLAN<br>TYPICAL WALL SECTION |
| 6   | ELECTRICAL PLANS                        |

**CERTIFICATION**

I CERTIFY THAT THESE PLANS WERE DRAWN UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED ARCHITECT WITH THE BUILDING DEPARTMENT OF LONG GROVE, ILLINOIS BY ARCHITECTURAL LICENSE EXPIRES NOVEMBER 2008

JAMES R. BYRNES, ARCHITECT NO. 01-1058



**FRONT ELEVATION**  
SCALE: 3/4" = 1'-0"

**NOTES:**  
 SHOW = 3/4" = 1'-0"  
 DESIGN LOADS: WIND = 60 PSF  
 ALL DIMENSIONS & CONDITIONS SHALL BE AS SHOWN  
 ALL FINISHING TO BE AS APPROVED

