



MEMORANDUM

TO: Village President and Village Board
FROM: James M. Hogue, Village Planner
DATE: April 8, 2013
RE: Board & Commissions Report for 4/9/13

This memo is intended to update the Village Board as to the status of projects and activities of the Long Grove Plan Commission & Zoning Board of Appeals (PCZBA), Conservancy & Scenic Corridor Committee (CSCC) and the Architectural Commission (AC).

PCZBA; - 4.2.13 Regular Meeting (2 Actions Item)

Public Hearing - Consideration of a petition for a Special Use Permit within the R-2 PUD District submitted by C.K. Concepts LLC (Mr. George Callas, Manager) to allow modification of the to the previously approved Special Use Permit/ PUD Ordinance 98-O-22 and site plan for lots 68 and 70 within the Preserves PUD, including but not limited to reconfiguration of the parking lot entrance, parking lot expansion, landscaping, parking lot lighting, the addition of approximately 1750 square feet of banquet facility space to be located in the basement of the existing structure as well as the addition of approximately 2,700 square feet of outdoor dining area for Double G's Restaurant and/or additional relief necessary and/or appropriate under the zoning code for properties known as 4868 Illinois Route 83 & 4869 Gilmer Road and zoned under the R-2 PUD District classification within the Village of Long Grove, Illinois.

Chairman Phillips called the meeting to order and read the request into the record.

Planner Hogue summarized his staff report noting the history of the property and parking and access have historically been issues with the use of this property for restaurant purposes for a number of years. These constrains have also been noted as impediments to the viability of the restaurant operation as well.

He indicated the plans submitted by the petitioner serve to address both of these issues. Plans appear to be well thought out and strive to minimize impacts to abutting property and in particular residential properties to the south and west. Parking and landscape improvements as proposed meet or exceed the requirements of the Village Code.

The location of the proposed parking area on Lot 68 is such that impact to the largely wooded lot is minimized. The northerly two (2) acres is principally vacant grassland with few trees on this portion of the property. Arguably, the bio-swale and landscaping proposed to surround the parking area could be considered an improvement over the "natural" state of the area in its present configuration.

The petitioner is seeking relief from the previous conditions of approval per the Preserve PUD- Ord. 98-O-22. Most notably these include the change in use and division of a portion of Lot 68 and the expansion of the restaurant use beyond the previously established maximum of 6,000 square feet for both the basement banquet facility and outdoor dining.

He noted the Standards for Conditional Use as well as the Standards for Outdoor Dining in the B-1 District. He suggested that the PCZBA consider the B-1 District Standards for the Outdoor Dining portion of the request as these anticipate outdoor dining adjacent to residential uses. Also, certain portions of the request, namely landscaping, parking lot lighting, signage and any exterior alterations to the restaurant will require Architectural Commission review. This review has set for the April 15th AC meeting.

Mr. George Maurides, attorney for the petitioner, then provided a PowerPoint presentation summarizing the proposal to the PCZBA and public present at the hearing. He noted that prior to the public hearing the petitioners had met with the HOA President and some residents of the Preserve Subdivision. He indicated residents were generally positive to the request at that meeting. Additional signage will be requested at the new entrance to the restaurant on Gilmer Road.

Member of the public then expressed their concerns. Generally these dealt with the configuration of the proposed access and parking and the loss of trees on the property, noise from the outdoor dining, the pathway connection to Preserve Court and parking on that street, and additional screening (fencing) on the south property line adjacent to Preserve Court.

Mr. Marc Downs, HOA President for the Preserve, indicated the pathway connection was discussed by the residents at the meeting with the petitioners and was suggested by the residents of the subdivision to allow pedestrian access to the restaurant principally by them. As the roads are private any illegal parking on Preserve Court is an HOA issue.

Mr. Maurides then summarized the request and indicated that the petitioner felt that the parking configuration as proposed was best from the access and traffic management perspectives. However, they were not opposed to modifications to the proposal which addressed the neighbors concerns to the greatest extent possible. The petitioners and their project consultants will meet with residents on-site to further explain the proposal and address any concerns prior to review by the AC on April 15th.

The PCZBA was supportive of the request as proposed noting it was a good plan as presented. They noted many of the concerns of the neighbors could potentially be resolved with additional landscaping, fencing and berming which were issues for consideration by the Architectural Commission. The PCZBA encouraged the petitioners to meet with the neighbors prior to the AC meeting of April 15th to try to resolve any outstanding issues prior to that meeting.

A motion was made by Commissioner Parr, seconded by Commissioner Rubin to recommend approval of the request as submitted subject to the following conditions;

1. Review and approval of the request by the Architectural Commission as applicable and specifically any additional landscaping, fencing and berming which address the neighbors concerns.
2. At such time at the Preserve HOA makes the Preserve Court pathway connection to the restaurant property (Lot 70) the petitioner shall complete the pathway segment/connection to the restaurant on Lot 70.
3. Approval of this request shall be subject to the review and approval by both the Village Arborist and Village Engineer.

On a voice Vote, all aye.

Public Hearing – Continuation; Consideration of a request for amendment(s) to the Village Code for the Village of Long Grove, and specifically:

- a). Title 5, Chapter 12, Section 5-12-13 “Definitions” of the Zoning Regulations, for the Village of Long Grove, regarding definitions of restaurant types.

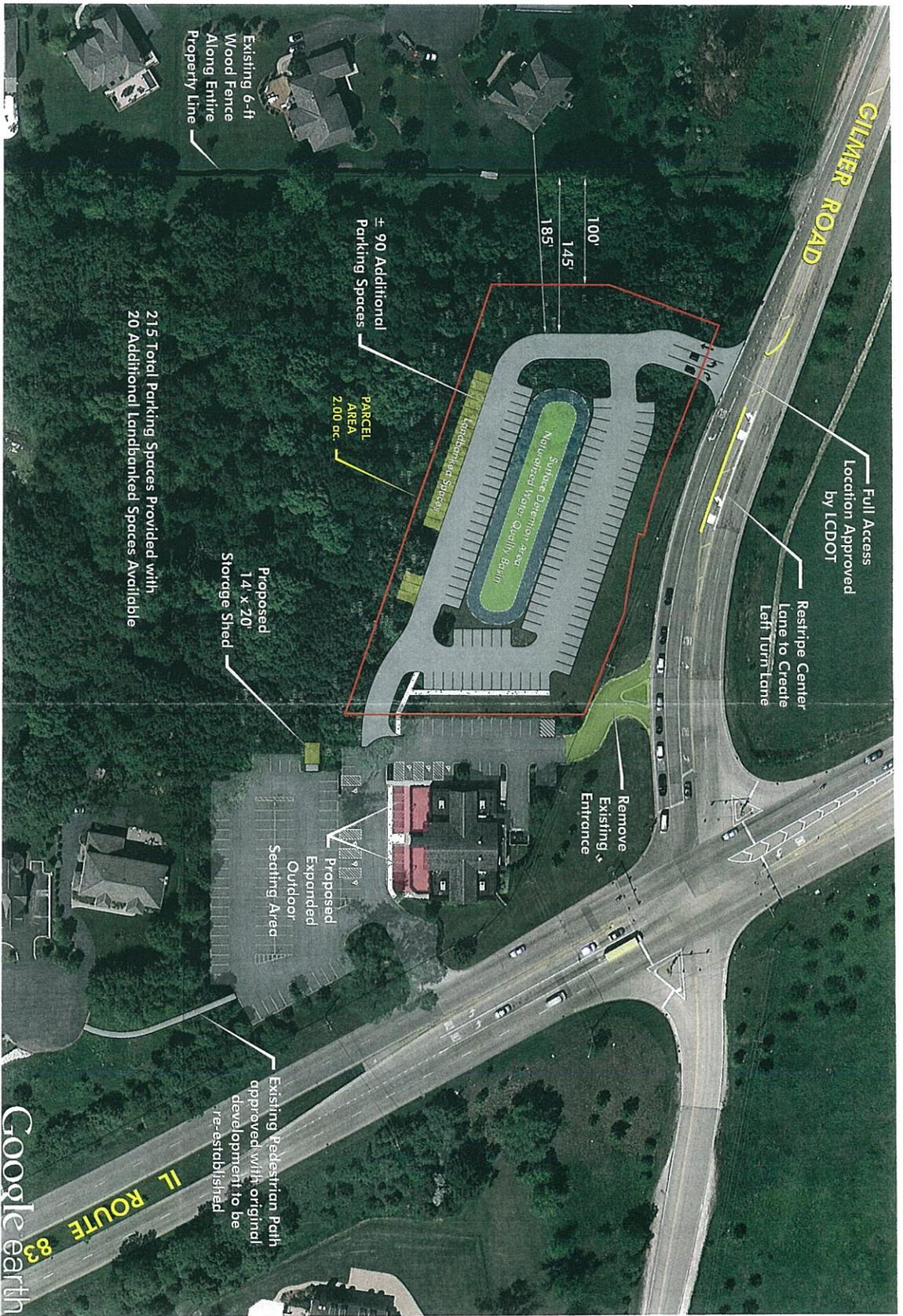
Village Attorney Del Percio presented draft definitions (attached) for consideration by the PCZBA. She noted these were drafted based upon the input provided by the PCZBA at the meeting of March 19th. The definition of “fast food” restaurants as it current exists is proposed to be modified. A new definition of “Restaruant, Limited Service” is proposed for inclusion in the zoning code. The definition for “Restaurant, Standard” was included as well for a reference. No changes to this definition are being proposed.

The PCZBA reviewed the definitions provided by the Village Attorney for both “fast food” and “limited service” restaurants.

Upon review of the definitions as proposed by the Village Attorney the PCZBA was satisfied that there was a clear and distinct difference between the definitions of “fast food” and “limited service” restaurants.

A motion was made by Commissioner Parr, seconded by Commissioner Pelton, to recommend approval of the proposed definitions as presented. On a voice vote, all aye.

AC; Next Regular Meeting 4.15.13; CSCC; - Next Regular Meeting; 4.17.13



± 90 Additional Parking Spaces

215 Total Parking Spaces Provided with 20 Additional Landbanked Spaces Available

PARCEL AREA 2.00 ac

Proposed 14' x 20' Storage Shed

Proposed Expanded Outdoor Seating Area

Existing Pedestrian Path approved with original development to be re-established

Remove Existing Entrance

Full Access Location Approved by LCDOT

Restripe Center Lane to Create Left Turn Lane

Google earth

Project No. 1901000100 - 1901000100 - 1901000100 - 1901000100



Scale: 1" = 40'

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SITE PLAN EXHIBIT
DOUBLE G'S ROADHOUSE
 LCDOT GROW, IL

Project Manager: MKA
 Engineer: SJA/LL
 Project No.: 1901000100
 Sheet: 1/1

Proposed Revisions to Restaurant Definitions

RESTAURANT, FAST FOOD: An establishment whose principal business is the sale of prepared food and/or beverages over a counter and/or by way of drive through service in a ready to consume state for consumption: a) within the restaurant building, b) within a motor vehicle parked on the premises, or c) off the premises as carryout orders, and whose principal method of operation includes the following characteristics: ~~food and/or beverages are usually served in edible containers or in paper, plastic, or other disposable containers~~ a limited menu, items prepared in advance or prepared or heated quickly, no table orders, and food served in disposable wrapping or containers.

RESTAURANT, LIMITED SERVICE: An establishment whose principal business is the sale of food and/or beverages to customers in a ready to consume state, for consumption within the restaurant building or off premises as carryout orders, but not through a drive through, and whose principal method of operation may include the following characteristics: (A) entrees are substantially made to order, (B) restaurant may provide delivery service, (C) customers "eating in" receive distinct service from carry out customers, which may include service with nondisposable containers, plates, baskets, and/or flatware and limited table service, and (D) menu may include alcoholic beverages pursuant to all applicable permits and laws.

RESTAURANT, STANDARD: An establishment whose principal business is the sale of food and/or beverages to customers in a ready to consume state, and whose principal method of operation includes one or both of the following characteristics:

(A) Customers, normally provided with an individual menu, are served their foods and beverages by a restaurant employee at the same table or counter at which food and beverages are consumed;

(B) A cafeteria type operation where food and beverages generally are consumed within the restaurant building.