

Item #1A:
Report Of AC Meeting - December 15, 2014:
The Grooming Lodge Signage - Long Grove Commons



**AGENDA
ARCHITECTURAL COMMISSION
REGULAR MEETING**

Monday, December 15, 2014 at 7:00 P.M.

**KILDEER COUNTRYSIDE SCHOOL, 3100 OLD MCHENRY ROAD
LONG GROVE, ILLINOIS**

CALL TO ORDER:

VISITORS BUSINESS:

ACTION ITEMS:

- 1) Approval of the November 10, 2014 Draft Special Meeting Minutes.
- 2) Consideration of a request for signage for "The Grooming Lodge" 3976 Illinois Route 22 and within the B-2 PUD District (Long Grove Commons), submitted by Only Signs Inc. on behalf of Ms. Patricia Anderson.
- 3) Consideration of a request for signage for 4192 Route 83; Building "A" (Coldwell Banker), within the Sunset Grove PUD, submitted by Identity Sign & Lighting Inc.
- 4) Consideration of a request for signage for "Epilogue," 130 Old McHenry Road within the B-1 Historic District, submitted by Signs Now.
- 5) Consideration of a request for signage (change of copy) for "Clayover Tandoor" (formerly Urban Tandoor), 3970 Route 22 (Building 8) within the Long Grove Commons B-2 PUD District, submitted by Sign-A-Rama.
- 6) Consideration of a request for signage for "Clover," 225 Robert Parker Coffin Road within the B-1 Historic District (Mill Pond Shops), submitted by Jing Wu, business owner.
- 7) Consideration of exterior elevations for house plans on property at 3998 RFD, also known as Lot 4 in the Orchards Planned Unit Development submitted by William Gronow, Castle Creek Homes.
- 8) Consideration of modifications to the approved elevations for Building 1 in the Long Grove Commons PUD for the for the "Primrose School" submitted by Mr. John Finnemore

OTHER BUSINESS: NONE

ADJOURNMENT: Next Scheduled Meeting: [February 9, 2015 @ 7:00 PM](#)

The Village of Long Grove is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to phone David Lothspeich, Long Grove Village Manager at 847-634-9440 or TDD 847-634-9650 promptly to allow the Village of Long Grove to make reasonable accommodations for those persons.



ITEM #2: For the **ARCHITECTURAL COMMISSION** on **MONDAY, December 15, 2014**
@ 7:00 P.M.

REQUEST: Consideration of a request for signage at Long Grove Commons for “The Grooming Lodge” (formerly “Dog Days Grooming”, Building #6, Suite C in Long Grove Commons, RT. 22 & Old McHenry Road, within the B-2 PUD District, Submitted by Only Signs on behalf of Ms. Patricia Anderson

History

In February of 2010 the AC approved one (1) sign constructed of PVC with a cream background a green border with red copy and & brown “paw prints” representing the color scheme. This sign was placed on the structure above the archway near the entrance to the structure. Signage was non-illuminated. This signage measured 18” X 96” (or 1.5’ x 8’ for a total of 12 square feet) at this location. Sixteen (16) square feet of signage was allocated at this location. A change in ownership has prompted this request for revised signage.

As originally approved internally illuminated signage was not specifically prohibited with the development however external signage illumination was preferred . However, overtime the AC has received and approved requests for internally illuminated signage within the development.

Proposed Project:

Petitioners have requested one (1) sign constructed of an acrylic sign face with a green background red copy with a white border representing the color scheme. The sign will be placed on the structure above the archway near the entrance to the structure in approximately the same location as the previously approved sign. Signage is proposed to be LED illuminated. As proposed signage would measure 18” X 105” (or 1.5’ x 8.75’ for a total of 13.1 square feet) at this location. Sixteen (16) square feet of signage was allocated at this location per the PUD approval for Long Grove Commons.

Staff has received a “proof” of the proposed signage which is attached for the consideration of the AC. Staff notes that the sign as submitted is “approvable” with regard to the parameters for signage at this location with the exception of illumination.

Illumination

Internal illumination of signage was not specifically prohibited as part of the PUD approval for Long Grove Commons.

The Village Code, as part of the sign regulations states the following however;

(D) *General Standards: The following general standards apply to all signs. Any sign not in compliance with these standards shall be immediately corrected or shall be deemed to be in violation of this chapter.*

1. Illumination: Signs shall only be permitted to be illuminated in accordance with the following regulations:

(a) No sign can be self-illuminated or internally illuminated; provided, however, that a business shall be permitted one internally illuminated "open" window sign not to exceed one square foot in area, which sign shall be subject to the review and approval by the architectural board.

(b) Neon illumination of signs is not permitted.

(c) Any illumination of signs shall be constant in intensity and color and there shall be no flashing lights, rotating lights, running lights, or lights that create an illusion of movement.

(d) No sign shall be illuminated in such a manner so as to cause confusion with traffic signals or lights or which might constitute a traffic hazard.

(e) Any light source that is used to illuminate a sign must be located, shielded, and directed as to not be visible from any point on any surrounding streets, public property, adjacent private property or adjacent structures. All artificial illumination shall be so designed, located, shielded, and directed so that it illuminates the sign face area only and prevents the casting of glare.

Per the Final PUD approval ordinance for Long Grove Commons both lighting and signage are at the discretion of the AC as follows;

- A. Lighting Plans. All exterior lighting shall be installed on the Property in accordance with the plans approved by the Architectural Board of Review.
- B. Signage. All signage shall be installed on the Property in accordance with the plans approved by the Architectural Board of Review.

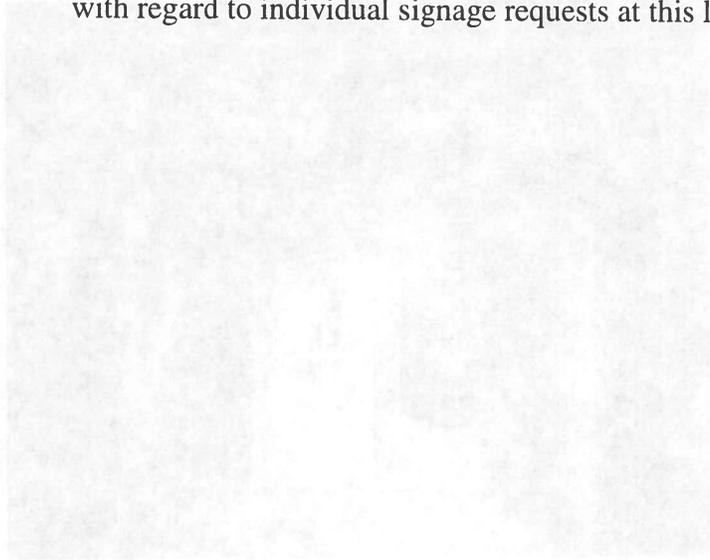
As a side note to date internally illuminated signage has been installed within the development for "Smokin' T's" and the "Long Grove Dental Studio". Illumination as proposed appears to be similar to the previously approved signage. An LED illumination source is proposed the sign specifications (attached).

ARCHITECTURAL COMMISSION DECISION:

The property is zoned B-2 PUD. As such, the sign regulations have been modified by the PUD ordinance. The size of signage was previously determined as part of the PUD process. Materials for signage as well as color appear not to have been determined. It is suggested that consistency in signage as well as the overall character of the development be considered with regard to signage.

Also, the AC needs to determine the appropriateness (and type) of internal illumination at this location. Internal illumination of signage (backlit LED's) was permissible in the Sunset Grove as part of the PUD approval and was allowed for "Smokin' T's and the "Long Grove Dental Studio" within this development.

It is suggested that consistency as well as the overall character of the development be considered with regard to individual signage requests at this location.



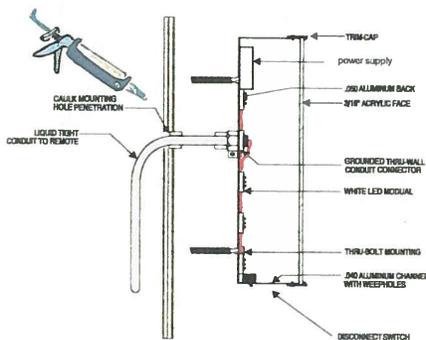
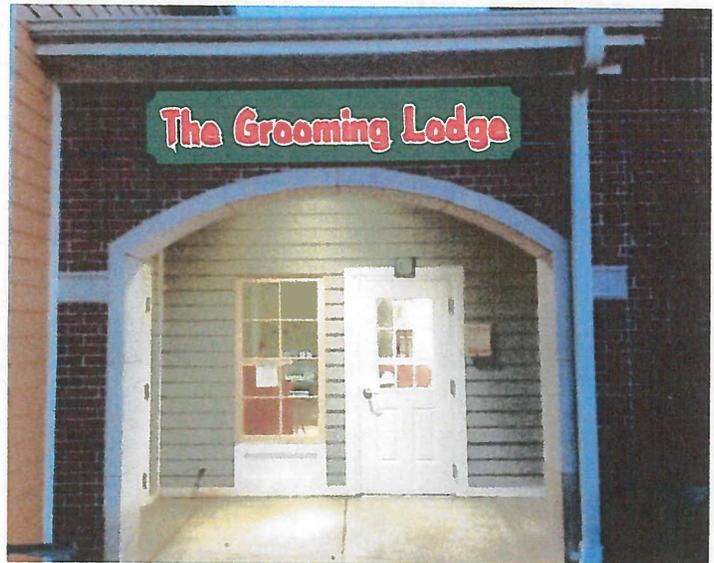
From: "Rafal Ofiara" <onlysigns@email.com>
 Subject: **sign application**
 Date: October 29, 2014 9:13:13 AM CDT
 To: "Patrick Anderson" <patanderson0624@gmail.com>
 2 Attachments, 1.7 MB

Thanks Ralph
 Only Signs Inc.
 204 Dearborn ct. unit 119
 Geneva IL. 60134
 630-670-8369
 www.bestsignsil.com



onlysigns@email.com 630-670-8369
 204 Dearborn crt. unit 119
 Geneva IL 60134

letter style :woodplank



Typical U.L. Channel Letters with LED Illumination
 Not to scale



FOR OFFICE USE ONLY:	
AC Received:	
AC Reviewed:	
AC Approved:	
Village Bd. Approved:	

FOR OFFICE USE ONLY:		
Date Received:		
Permit No.:		
Date Issued:		
Township:		
Sec:	T:	R:
PIN No.:		
Zoning:		

**ARCHITECTURAL COMMISSION
SIGN PERMIT APPLICATION**

BUSINESS NAME: <i>The Grooming Lodge</i>	BUS. PHONE #: <i>847-550-0107</i>
BUSINESS ADDRESS: <i>3976 Rtd - Ste C</i>	
BUSINESS OWNER'S NAME: <i>Patricia Anderson</i>	E-MAIL: <i>Patanderson0624@Comcast.com</i>

TYPE OF SIGN(S) FOR WHICH YOU ARE APPLYING:	<i>Lightal Box Sign</i>
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The Architectural Commission regularly meets every third (3rd) Monday of the month at 7:00pm in the Village Hall or as otherwise posted. The applicant (or representative) must be present. Please prepare and submit seven (7) sets of all of the following information ten (10) days prior to the meeting:

- THIS FULLY COMPLETED APPLICATION SIGNED BY BOTH THE PETITIONER AND THE PROPERTY OWNER
- REGARDING THE POSITION OR LOCATION OF PROPOSED SIGN ON THE BUILDING OR PROPERTY:
 - PROVIDE SITE PLAN
 - PROVIDE PHOTOGRAPH OF THE LOCATION ON THE PROPERTY OR BUILDING WHERE THE SIGN WOULD BE INSTALLED
 - SQUARE FOOTAGE OF COMMERCIAL SPACE FOR WHICH SIGN IS BEING INSTALLED:

1200 sq. ft.
- PROVIDE A DETAILED DRAWING (TO SCALE) OF THE PROPOSED SIGN, INCLUDING:
 - DIMENSIONS
 - SAMPLE OF COLORS ON SIGN
 - LETTER STYLE TO BE USED
 - SAMPLE OF ANY UNUSUAL MATERIAL TO BE USED ON THE SIGN
 - FOR REQUESTS IN THE B-1 HISTORIC DISTRICT SEE SUGGESTED DESIGN GUIDELINES FOR SIGNAGE**

Should the sign be completed prior to the Architectural Commission's approval (this is not encouraged), the sign itself, or a photograph of the sign, shall be presented at the Architectural Commission meeting.

SIGN CONTRACTOR: *Only Signs Inc*

NAME: <i>ONLY Signs Inc</i>	PHONE #:
ADDRESS: <i>204 Dearborn Ct. #119 Geneva IL</i>	E-MAIL: <i>Only Signs @Email.com</i>

The property owner's signature is required below before any sign application may be processed. The property owner's signature is confirmation that he/she has read and understands the regulations governing the erection of signs in the Village of Long Grove and further approves the erection of the above-described sign on his/her property.

*Old McHenry LLC
By Its Manager: Clerkleaf
J. Parker Property Manager*

PROPERTY OWNER(S)' SIGNATURE(S) *10-31-14*

PROPERTY OWNER(S)' PRINTED NAME(S)

Patricia Anderson

BUSINESS OWNER(S)' SIGNATURE(S)

(See the reverse side for maximum sign dimensions and fee schedule.)

**SIGN PERMIT
ARCHITECTURAL COMMISSION APPLICATION
MAXIMUM SIGN SIZES AND FEES**

The following dimension regulations and fee information are provided as a guideline and are excerpted from the Village Zoning Code, 5-9-5, "Sign Regulations." It is recommended that applicants read the entire section, available online at www.longgrove.net, to better understand the basis for sign permit approval.

RETAIL BUSINESSES:

MAXIMUM SIGN AREA (SQ. FT.) PERMITTED IN BUSINESS DISTRICTS			
TOTAL FLOOR AREA OF BUSINESS	B1*	B2	
		NO INDIVIDUAL ARTERIAL ACCESS	INDIVIDUAL ARTERIAL ACCESS
1 – 500 sq. ft.	12	12	75
501 – 1,000 sq. ft.	12	12	75
1,001 – 3,000 sq. ft.	20	20	100
3,001 – 5,000 sq. ft.	30	30	125
5,001 or greater	30	30 ¹	125 ²
¹ For each additional 2,000 sq. ft., an additional 10 sq. ft. of signage is permitted. The maximum total signage area shall not exceed 50 sq. ft.			
² For each additional 2,000 sq. ft., an additional 10 sq. ft. of signage is permitted. The maximum total signage area shall not exceed 145 sq. ft.			

FEE: Fees are calculated based on square footage of the sign and are as follows:

B - 1 DISTRICT*		B - 2 DISTRICT	
10 sq. ft. or less	\$50.00	75 sq. ft. or less	\$100.00
10.1 – 12 sq. ft.	\$60.00	75.1 sq. ft. – 100 sq. ft.	\$125.00
12.1 – 20 sq. ft.	\$70.00	100.1 sq. ft. – 125 sq. ft.	\$150.00
20.1 – 30 sq. ft.	\$80.00	125.1 sq. ft. or greater	\$200.00
30.1 sq. ft. or greater	\$100.00		

SUBDIVISION IDENTIFICATION SIGNS:

Not more than one (2) signs per entrance to subdivision; total signage not to exceed 40 sq. ft.

FEE: \$50.00 per sign

SUBDIVISION DEVELOPMENT SIGN:

FEE: \$100.00 per sign

OFFICE & OFFICE RESEARCH DISTRICT:

Maximum two (2) signs, not to exceed 100 sq. ft. total combined dimension; 50 sq. ft. maximum per sign.

Number of signs must be approved by Architectural Commission.

FEE: \$200.00 per sign

***SEE DESIGN GUIDELINES FOR THE B-1 HISTORIC DISTRICT (ATTACHED)**

FOR OFFICE USE ONLY							
<table border="1"> <thead> <tr> <th>TYPE OF SIGN(S)</th> <th>FEE(S)</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	TYPE OF SIGN(S)	FEE(S)					<p>Amount Paid: _____</p> <p>Date Paid: _____</p> <p>Permit #: _____</p>
	TYPE OF SIGN(S)	FEE(S)					
<p>Village Official: _____</p>	<p>Date of Issuance: _____</p>						

Item #1B:
Report Of AC Meeting - December 15, 2014:
Coldwell Banker Signage, Sunset Grove



ITEM #3: For the ARCHITECTURAL COMMISSION; on MONDAY, December 15, 2014 @ 7:00 P.M.

REQUEST: Consideration of a request for signage for "Coldwell Banker" "Building A"; 4192 Route 83; within the Sunset Grove Development, submitted by Identity Sign & Lighting, Inc.

HISTORY/STAFF REVIEW:

HISTORY:

The property is located on the southeast corner of Route 83 and Aptakisic Road. The property consists of 16 +/- acres of land area. The property is presently zoned HR-1 Commercial District & OS-P with a special use permit for a Planned Unit Development. The Village Board granted final PUD plan & plat approval in November 2008 (Ord. # 2008-O-27).

"Building A" is one of the last two structures to be built in the Sunset Grove Development and received AC review and approval as part of the original PUD approval in 2008. At that time it was noted individual signage requests would be brought back to the Commission as received for further consideration.

Coldwell Banker is the first and "anchor" tenant for "Building A"

STAFF REVIEW:

The property in question is located at 4192 Route 83 and is located in Building "A" north of and adjacent to the Sunset Food Building in the Sunset Grove Development.

Per the final PUD approval ordinance (Ord. 2008-O-27) signage was approved as follows;

- A. **Signage.** All signage for the Proposed Development shall be located and installed in accordance with the Final PUD Plans. No more than 70% of the "Designated Zone for Placement of Signage and Graphics" depicted on the building elevations included within the Final Signage Plan may be occupied by tenant signage. "Alternate Sign 'A'", as depicted on the Final PUD Plans, may contain any of the following combinations of "Top Panels" (20 square feet of signage) and "Other Panels" (7.6 square feet of signage), as such panels are depicted on the Final Signage Plan: (i) four (4) Top Panels and zero (0) Other Panels; (ii) three (3) Top Panels and two (2) Other Panels; (iii) two (2) Top Panels and four (4) other Panels; (iv) one (1) Top Panel and six (6) Other Panels; or (v) zero (0) Top Panels and eight (8) Other Panels. The size, color, copy, and materials of all tenant signage including, but not limited to, the window treatments of the drug store (Building "D"), shall be subject to Architectural Commission review and approval. Any approved signage may be replaced by signage in the same location and of equivalent or smaller size, subject to Architectural Commission review and approval. Any other additional or replacement signage must undergo full review for a sign permit and receive Architectural Commission approval in accordance with the Village Code. **Electronic sign boards, neon signage, flashing signage, and internally illuminated signage shall be prohibited.**

A copy of the approved elevation for "Building A" is attached. As signage relates to this portion of building, the "Coldwell Banker" signage, as proposed, is in the "Designated Zone for Placement of Signage and Graphics" as indicated on the approved PUD plans.

Per the building plans submitted for approval the "Designated Zone for Placement of Signage and Graphics" is as follows;

West Elevation – 1 sign;
Placement Zone Dimensions: 22.0' x 3.0' = 66 sq. ft. x .70 = 46.2 sq. foot of signage

PROPOSED SIGNAGE

Petitioner is proposing one wall sign on the west facade of “Building A” over the building entrance and in the location approved as the “Designated Zone for Placement of Signage and Graphics”. This is consistent with the final PUD approval.

The size of the proposed signage is as follows;

	<u>Proposed Sq. Footage</u>	<u>Sq. Footage Allowed per PUD Approval</u>
East Elevation:	16.1' x 1.2' (18.6 sq. ft.)	46.2 Sq. ft.

The proposed signage is on the west elevation is within the allowable square footage for such signage as allowed by the PUD approval ordinance.

Sign Measurement: Unless otherwise expressly provided to the contrary in these regulations, the term "sign area" shall include the gross surface area of each sign with a single continuous perimeter enclosing the extreme limits of the sign and in no case passing through or between any adjacent elements of the sign. Such a perimeter shall not include any structural or framing elements lying outside the limits of such sign and not forming an integral part of the display.

A sign placard will also be placed on pylon sign on the Route 83 frontage. This sign will be consistent with the other placards on the pylon sign and is permissible at this location.

MATERIALS & ILLUMINATION

The signage is proposed to be channel letters with in white acrylic with blue vinyl lettering. The “Coldwell Banker” logo in white & blue will also be incorporated into the sign . Signs are proposed to be illuminated with backlit LED lighting consistent with other illumination within the development.

ARCHITECTURAL COMMISSION DECISION:

The signage as proposed is consistent in both size and placement with the final PUD approval. The sign is therefore approvable as submitted.

It is suggested that consistency as well as the overall character of the development be considered with regard to individual signage requests.



FOR OFFICE USE ONLY:	
AC Received:	
AC Reviewed:	
AC Approved:	
Village Bd. Approved:	

FOR OFFICE USE ONLY:		
Date Received:		
Permit No.:		
Date Issued:		
Township:		
Sec:	T:	R:
PIN No.:		
Zoning:		

**ARCHITECTURAL COMMISSION
SIGN PERMIT APPLICATION**

BUSINESS NAME: <u>IDENTITY SIGN & LIGHTING, INC.</u>	BUS. PHONE #: <u>847-409-4419</u>
BUSINESS ADDRESS: <u>2714 HOLMES WAY, SCHAUMBURG, IL 60194</u>	
BUSINESS OWNER'S NAME: <u>PHIL HERBST</u>	E-MAIL: <u>major1051@AOL.CO</u>

TYPE OF SIGN(S) FOR WHICH YOU ARE APPLYING:	<u>LED ILLUMINATED WALL SIGN ON FRONT FASCIA</u>
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The Architectural Commission regularly meets every third (3rd) Monday of the month at 7:00pm in the Village Hall or as otherwise posted. The applicant (or representative) must be present. Please prepare and submit seven (7) sets of all of the following information ten (10) days prior to the meeting:

- THIS FULLY COMPLETED APPLICATION SIGNED BY BOTH THE PETITIONER AND THE PROPERTY OWNER
- REGARDING THE POSITION OR LOCATION OF PROPOSED SIGN ON THE BUILDING OR PROPERTY:
 - PROVIDE SITE PLAN
 - PROVIDE PHOTOGRAPH OF THE LOCATION ON THE PROPERTY OR BUILDING WHERE THE SIGN WOULD BE INSTALLED
 - SQUARE FOOTAGE OF COMMERCIAL SPACE FOR WHICH SIGN IS BEING INSTALLED:
184 sq. ft.
- PROVIDE A DETAILED DRAWING (TO SCALE) OF THE PROPOSED SIGN, INCLUDING:
 - DIMENSIONS
 - SAMPLE OF COLORS ON SIGN
 - LETTER STYLE TO BE USED
 - SAMPLE OF ANY UNUSUAL MATERIAL TO BE USED ON THE SIGN
 - FOR REQUESTS IN THE B-1 HISTORIC DISTRICT SEE SUGGESTED DESIGN GUIDELINES FOR SIGNAGE**

Should the sign be completed prior to the Architectural Commission's approval (this is not encouraged), the sign itself, or a photograph of the sign, shall be presented at the Architectural Commission meeting.

SIGN CONTRACTOR:

NAME: <u>PHIL HERBST</u>	PHONE #: <u>847-409-4419</u>
ADDRESS: <u>2714 HOLMES WAY, SCHAUMBURG, IL 60194</u>	E-MAIL: <u>major1051@AOL.CO</u>

The property owner's signature is required below before any sign application may be processed. The property owner's signature is confirmation that he/she has read and understands the regulations governing the erection of signs in the Village of Long Grove and further approves the erection of the above-described sign on his/her property.

[Signature]
PROPERTY OWNER(S) SIGNATURE(S)

[Signature]
PROPERTY OWNER(S) PRINTED NAME(S)

Phil Herbst PHIL HERBST
BUSINESS OWNER(S) SIGNATURE(S)

(See the reverse side for maximum sign dimensions and fee schedule.)

**SIGN PERMIT
ARCHITECTURAL COMMISSION APPLICATION
MAXIMUM SIGN SIZES AND FEES**

The following dimension regulations and fee information are provided as a guideline and are excerpted from the Village Zoning Code, 5-9-5, "Sign Regulations." It is recommended that applicants read the entire section, available online at www.longgrove.net, to better understand the basis for sign permit approval.

RETAIL BUSINESSES:

MAXIMUM SIGN AREA (SQ. FT.) PERMITTED IN BUSINESS DISTRICTS			
TOTAL FLOOR AREA OF BUSINESS	B1*	B2	
		NO INDIVIDUAL ARTERIAL ACCESS	INDIVIDUAL ARTERIAL ACCESS
1 – 500 sq. ft.	12	12	75
501 – 1,000 sq. ft.	12	12	75
1,001 – 3,000 sq. ft.	20	20	100
3,001 – 5,000 sq. ft.	30	30	125
5,001 or greater	30	30 ¹	125 ²
¹ For each additional 2,000 sq. ft., an additional 10 sq. ft. of signage is permitted. The maximum total signage area shall not exceed 50 sq. ft.			
² For each additional 2,000 sq. ft., an additional 10 sq. ft. of signage is permitted. The maximum total signage area shall not exceed 145 sq. ft.			

FEE: Fees are calculated based on square footage of the sign and are as follows:

B – 1 DISTRICT*		B – 2 DISTRICT	
10 sq. ft. or less	\$50.00	75 sq. ft. or less	\$100.00
10.1 – 12 sq. ft.	\$60.00	75.1 sq. ft. – 100 sq. ft.	\$125.00
12.1 – 20 sq. ft.	\$70.00	100.1 sq. ft. – 125 sq. ft.	\$150.00
20.1 – 30 sq. ft.	\$80.00	125.1 sq. ft. or greater	\$200.00
30.1 sq. ft. or greater	\$100.00		

SUBDIVISION IDENTIFICATION SIGNS:

Not more than one (2) signs per entrance to subdivision; total signage not to exceed 40 sq. ft.
FEE: \$50.00 per sign

SUBDIVISION DEVELOPMENT SIGN:

FEE: \$100.00 per sign

OFFICE & OFFICE RESEARCH DISTRICT:

Maximum two (2) signs, not to exceed 100 sq. ft. total combined dimension; 50 sq. ft. maximum per sign.
Number of signs must be approved by Architectural Commission.
FEE: \$200.00 per sign

***SEE DESIGN GUIDELINES FOR THE B-1 HISTORIC DISTRICT (ATTACHED)**

FOR OFFICE USE ONLY									
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	TYPE OF SIGN(S)	FEE(S)							
	Date Paid: _____								
	Permit #: _____								
Village Official: _____	Date of Issuance: _____								

FRONT (SOUTH) STORE ELEVATION

S1-1

SIGN CODE •

Proposed Signage = 18.75sqft

Relevant Signage Code:

36" Max Letter Height

N/A / 70% of Signband

Sign Calculation:

One box (H x W)

around all elements

SIGN TYPE & SCOPE •

LED Channel Letters - Front Lit

MOUNTING •

Pin Mounted

COLOR PALETTE •

White Trim & Returns

Blue-M 3630-33

N/A

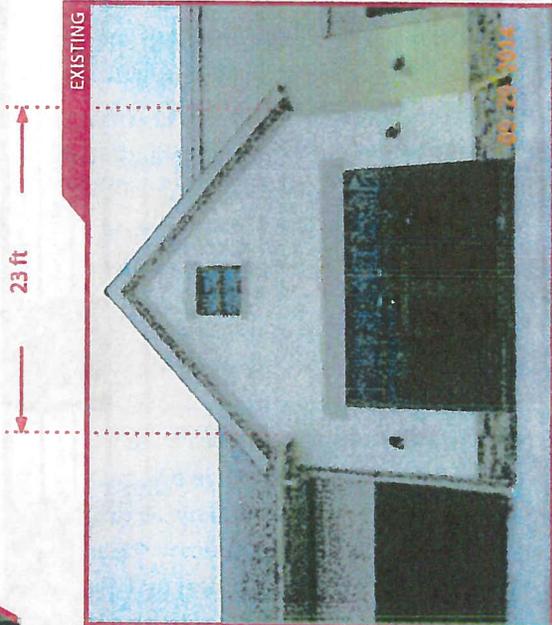
N/A

N/A

N/A

N/A

N/A



EXISTING

23 ft



PROPOSED

Field verification required

276 x 70% = 193.2"



COLDWELL BANKER

Revision Date: 9/30/14 Rev. Details: New Site

1171 Tower Rd.
 847.301.0310
 847.301.0518
 ideas@identit.net

Project No. 141193
 Proj. Location 4192 Route 83 Long Grove, IL
 Orig. Draft: 09-24-14
 Proj. Manager: Danielle Jozysk
 Page Rev: 002
 Sales Rep: Michael Sticher

Scale: 1/2" = 14'

Designer: Sarah Revision Att: Sarah

COLDWELL

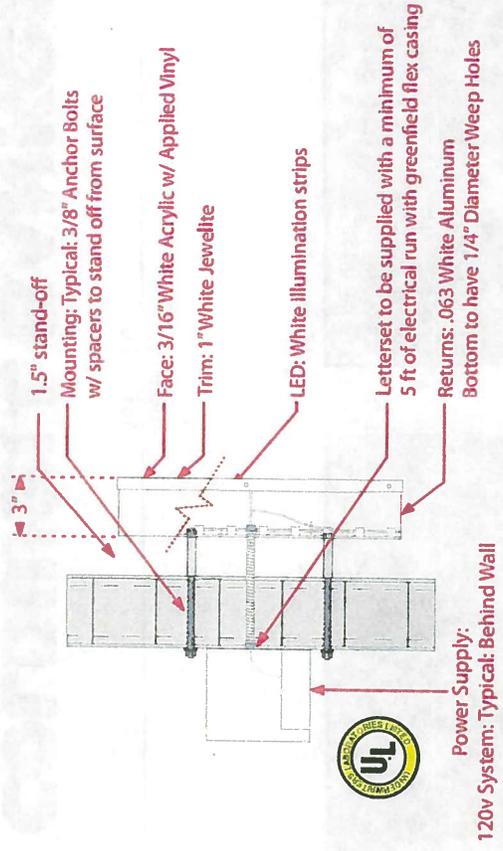
IDENTITY
 RESOURCES

SIGN SPECIFICATIONS

SPEC

SIGN CODE	
Proposed Signage = N/A	
Relevant Signage Code: 46" Max Letter Height NIT 75% of Frontage Sign Calculation: One box (1' x 4') around all elements	
SIGN TYPE & SCOPE	
LED Channel Letters - Front Lit	
MOUNTING	
Pin Mounted	
COLOR PALETTE	
White Firms & Returns	
Blue 3M 3650-33	
N/A	

COLDWELL BANKER



*Note: All fasteners to be non-ferrous and all penetrations shall be sealed water tight

Front-Lit L.E.D Channel Letter - Stand-off Mount
TYPICAL - Section Detail

Revision Date: No Rev. **Rev. Details:** N/A

1171 Tower Rd.
Schaumburg, IL 60174
O: 847.301.0510
F: 847.301.0518
tobias@coldwell.com

Project No: 141193
Orig. Date: 09/24/14
Page Rev: 000

Proj. Location: 4192 Route 83 Long Grove, IL
Proj. Manager: Danielle Jeryk
Sales Rep: Michael Slicher

Designer: Sarah
Revision Art: N/A

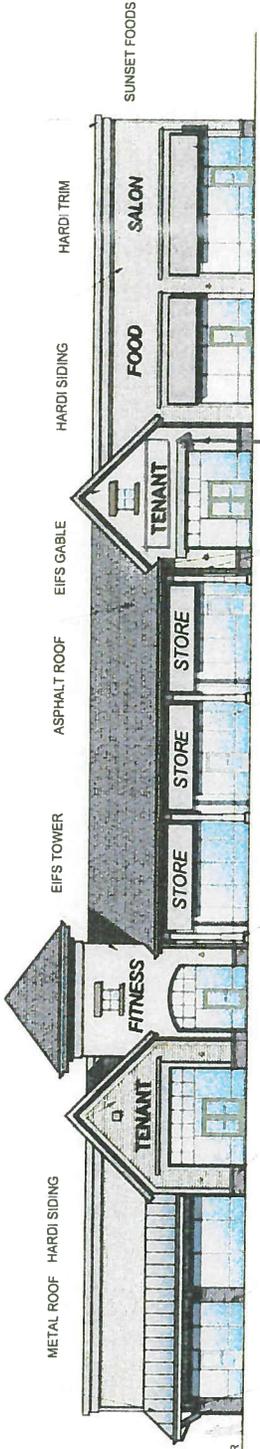
Scale: NTS

COLDWELL

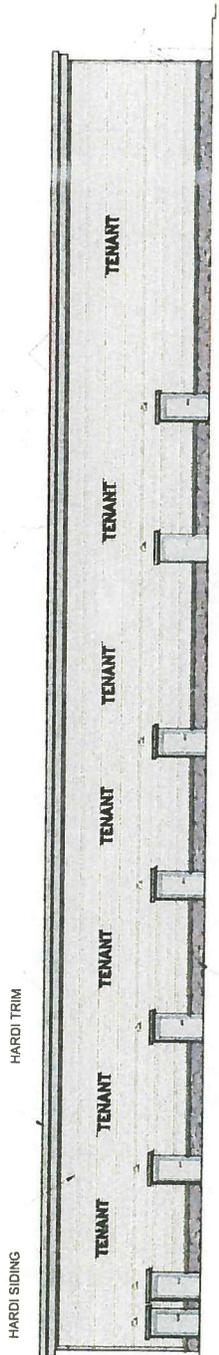
PROJECT

IDENTITY RESOURCES

- ↑ TOWER EL. 38'-4"
- ↑ MID TOWER EL. 35'-0"
- ↑ CORNICE EL. 26'-0"
- ↑ OVERHANG EL. 10'-0"
- ↑ FINISH FLOOR EL. 0'-0"



RETAIL 'A' WEST ELEVATION
SCALE: 1/20" = 1'-0"



RETAIL 'A' EAST ELEVATION
SCALE: 1/20" = 1'-0"



OKW Architects
PROJECT NUMBER: 0453

DATE: September 3rd, 2008

SUNSET GROVE
LONG GROVE, ILLINOIS

Item #1C:
Report Of AC Meeting - December 15, 2014:
Epilogue Signage, Downtown



ITEM #4: For the ARCHITECTURAL COMMISSION; MONDAY, December 15th @ 7:00 P.M.

REQUEST: Consideration of a request for signage for "Epilogue", 130 Old McHenry Road within the B-1 Historic District, submitted by Signs Now.

HISTORY/STAFF REVIEW:

The property in question is located on the north side of Old McHenry Road and across the street from "The Tavern" and adjacent to the building formerly occupied by "Wine Splash".

As submitted the petitioner proposes two signs, a triangular wall sign measuring 3' x 3' \ 2 = (4.5 sq. ft.) and a hanging sign measuring 36" x 16" (3.9 sq. ft.). Square footage of the commercial space for which the sign is being requested is approximately 1,200 square feet. For retail spaces containing 1,001 to 3,000 sq. ft. of floor area 20 square feet of signage may be allowed per the Village Zoning Code.

Based upon the total square footage of signage proposed (8.4 square feet +/-), the requested signage is within the square footage limits for the floor area at this location. Signage may be divided up between wall signs, hanging signs and freestanding signs but may not exceed the maximum allowable square footage as allocated by floor area.

The wall sign would be mounted to the gable of the front of the building. The hanging sign would be placed on the existing post. The signs as proposed are to be sandblasted foam board with raised lettering in black and white and burgundy color scheme. The signs will use existing illumination sources; no new illumination is proposed. (See attached).

SIGN REGULATIONS:

The following are excerpts of applicable portions of the Village Sign Ordinance:

E) Historic Business District Signs: Signs within the B1 historic business district must comply with the regulations of general applicability as set forth throughout this section, except as specifically set forth in this subsection (E). Signs within this area should reflect the historic and eclectic character of the historic business district and be integrated with the landscaping and architecture to the greatest extent possible. The following regulations apply to signs within the B1 historic business district:

1. Open Signs: A business may display one illuminated open sign, provided that such illuminated "Open" sign: a) is no more than one square foot in area, b) includes lighted white letters on an unlit background, c) does not exceed an illumination level of eight hundred forty (840) lumens, and d) otherwise complies with those provisions of subsection (D)1 of this section that are not inconsistent with this subsection (E)1, except that the approval of the architectural commission shall not be required. A business may not display a lighted open sign at times when the business is not open to the public for normal business.
2. Neon Illumination: Neon illumination of signs is only permitted: a) if neon is used as part of an "Open" sign that meets the requirements of subsection (E)1 of this section, or b) upon application and approval of a variation from the requirements of this code pursuant to subsection [5-11-15\(E\)1\(c\)](#) of this title. For

purposes of a request for a variation for neon sign illumination, a practical difficulty or particular hardship may be found to exist when the neon illumination of signs would be traditionally appropriate for the nature of the business and if such proposed sign is appropriate to the architectural style or era of construction of the business.

3. Maintenance: If signs are not properly maintained they must be removed or replaced. Proper maintenance includes: a) repairing of any damage caused by weather or other impact, b) ensuring signs do not pose a hazard, or provide misleading information, to pedestrians or motorists, c) repairing cracks, fading, or general deterioration.
4. Materials: Signs should be constructed of high quality, long lasting and natural building materials, which may include painted wood, metal, or stone, but may not include particle board, plastic, or highly reflective metallic material unless expressly approved by the architectural commission.
5. Awnings: Businesses having awnings may include the business's name as copy along the lower edge or fringe of an awning, but any awning displaying such copy shall be considered a wall or canopy sign as allowed by subsection (E)7 of this section and included in the maximum sign area calculation for that location.
6. Flags: Flags, in good condition and totaling not more than fifteen (15) square feet per zoning lot or per principal structure, may be displayed.
7. Number: The limit of signs per business establishment is one ground sign, one nameplate sign, and one wall sign or one canopy sign. Such signs, singularly or in combination, shall not exceed the maximum permitted sign area.
8. Total Size: Except as otherwise authorized by variation pursuant to subsection 5-11-15(E)1(c) of this title, the cumulative total square footage for all signs shall not exceed the following:

**MAXIMUM SIGN AREA PERMITTED IN THE
B1 BUSINESS ZONING DISTRICT
(In Square Feet)**

Total Area Of Business In Square Feet	B1 Setback (building and all signs) less than 50' from nearest edge of pavement of main roadway unless otherwise approved by architectural commission	B1 Setback (building and all signs) at least 50' from nearest edge of pavement of main roadway
1 - 1,000	12	16
1,001 - 3,000	20	26
3,001 - 5,000	30	38
5,001 or greater	30	38

Except as otherwise provided, square footage, for the purpose of this subsection (E), shall be calculated based on single sign face of any double faced sign.

9. Temporary Banner Signs: The village planner may authorize temporary banner signs that conform with subsection (G)2(i) of this section for a period not exceeding sixty (60) days for signs that relate to the business, service, pursuit, or event conducted on or within the premises on which the sign is displayed.
10. Sandwich Board Signs: The village planner may authorize one sandwich board sign, with cumulative total of all sign faces not exceeding twelve (12) square feet in addition to the total number and square footage of signs otherwise authorized, if requested as part of a business's annual business license application. The

authorization to display a sandwich board sign must be renewed annually with the business license and include site plan identifying the general placement of the sign as well as a scaled drawing (or "proof") identifying the dimensions, materials and copy of the sign. Sandwich board signs may not obstruct pedestrian or vehicular ingress or egress, and must be placed inside the structure when the business authorized to display such sign is closed to the public. Such signage shall be nonilluminated and may not adversely impact the health, safety, and welfare of the general public. Sandwich board signs may not be located on, or otherwise obstruct, pedestrian walkways, parking lots, and streets and be adjacent to the destination they are intended to serve but may not be displayed in the right of way. For purposes of this subsection (E), a "sandwich board sign" shall be a portable and temporary A-frame sign that is designed to be self-supporting by nature, which sign may have two (2) sign faces and should be simple, unique and constructed of high quality materials that complement the landscaping and architecture of the B1 district.

11. Setbacks: Unless otherwise specified, setbacks shall be subject to the review and approval of the architectural commission.

ARCHITECTURAL COMMISSION DECISION:

The Commission should review the request for signage against the aforementioned regulations and render a determination based upon those criteria as well as the appropriateness of the signage at this location in relation to other signage on the structure. As submitted the requested signage is with the parameters of the Village Code and therefore approvable. An excerpt from the "Downtown Design Guidelines" regarding signage is included for consideration by the Commission.

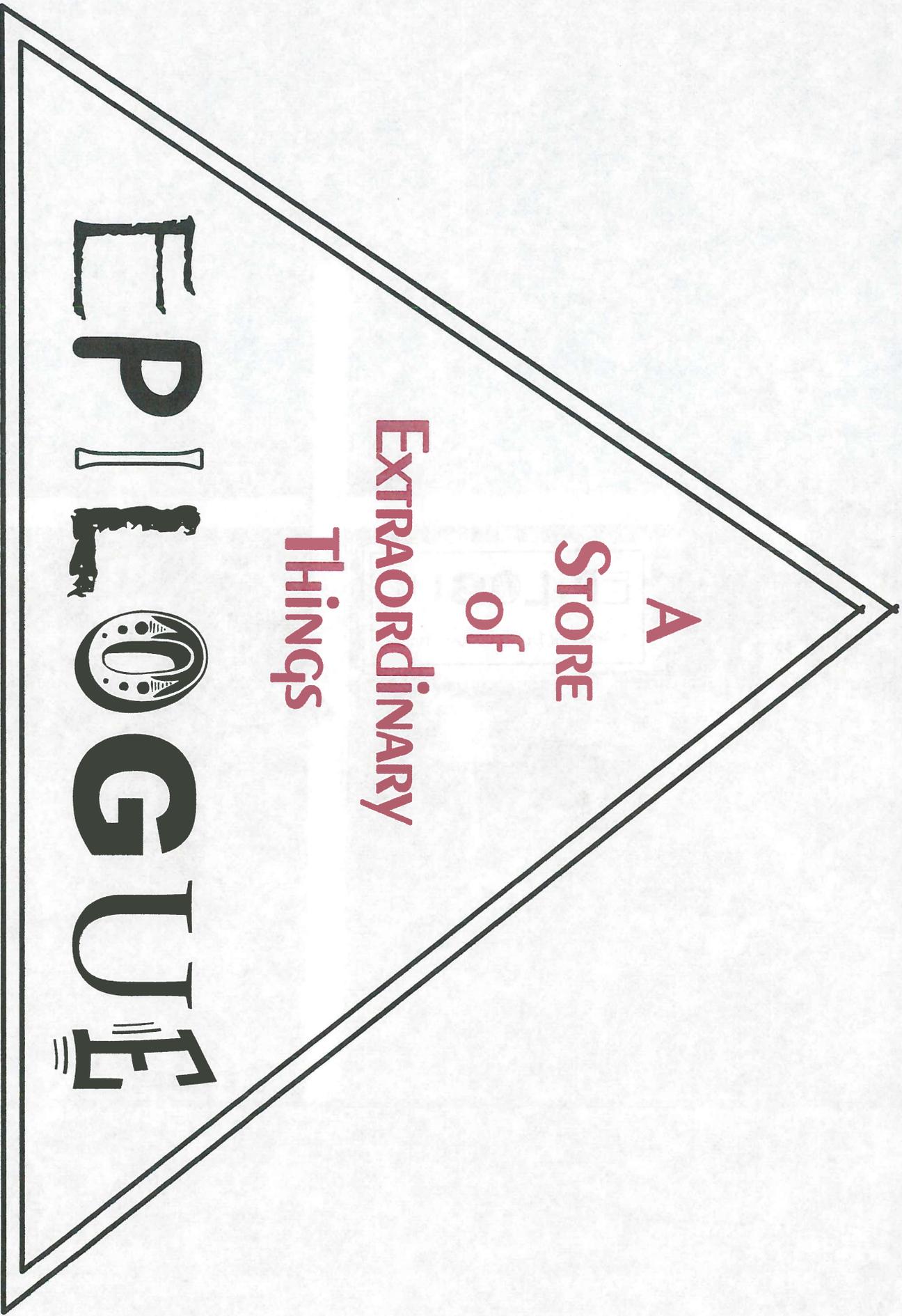
36"

EPILOGUE

A STORE OF EXTRAORDINARY THINGS

Double-Sided Foam, Sandblasted with raised lettering. Background, off-white, letters black & burgundy

16"



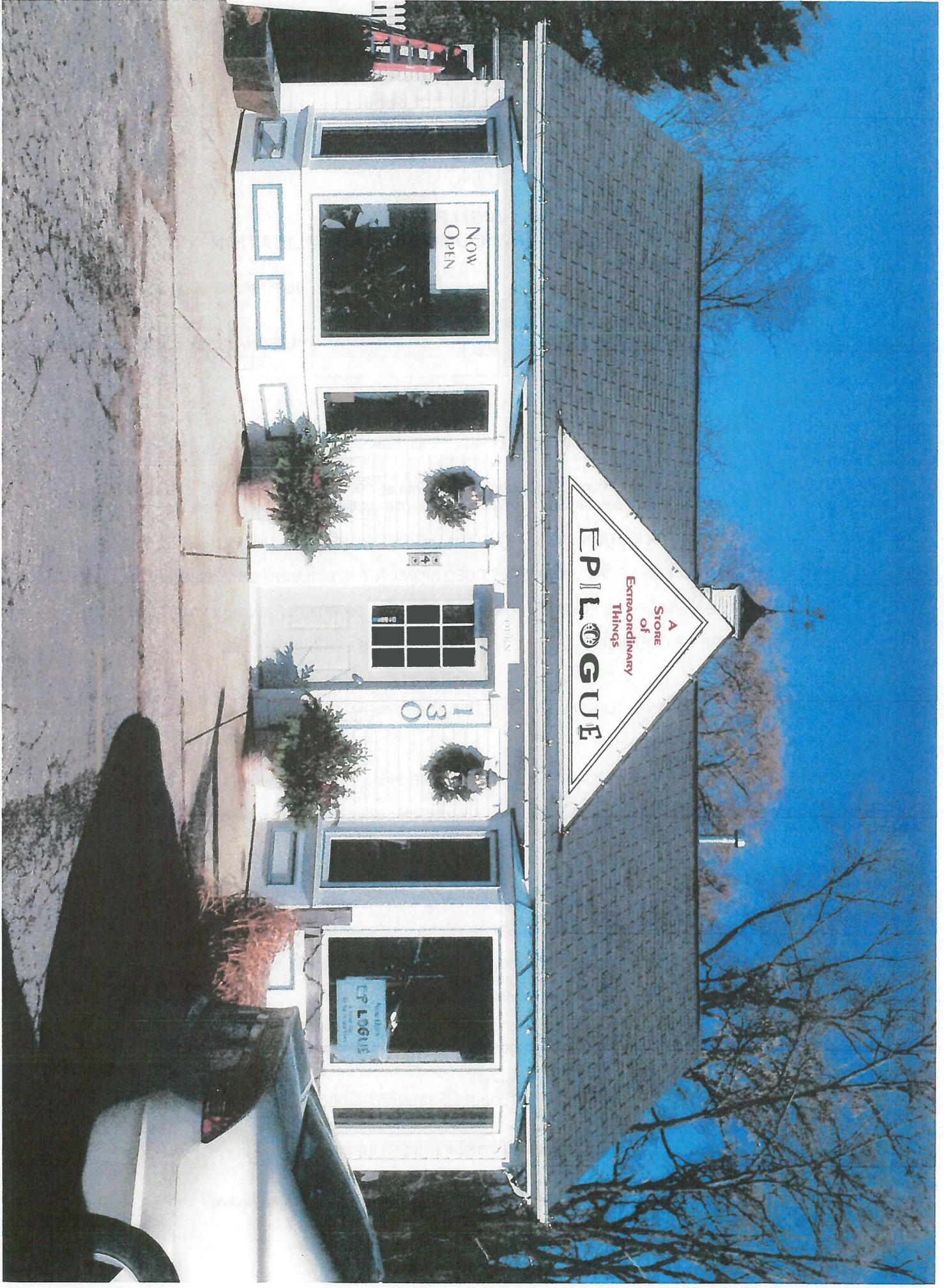
Single sided 2" Foam, sandblasted with raised letters, background, off-white with black and burgundy letters
For use on building above front door. Dimensions - 36" x 36" x 36"



EPILOGUE
A STORE of EXTRAORDINARY THINGS

4

SCHOOL



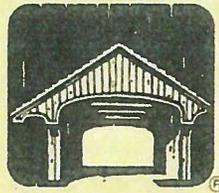
A Store of Extraordinary Things
EPILOGUE

NOW OPEN

130

EPILOGUE

FOR ZONING DEPT. USE ONLY:	
AC Received:	
AC Reviewed:	
AC Approved:	
Village Bd. Approved:	



VILLAGE OF
LONG GROVE

Date Received:	
Permit No.:	
Date Issued:	
Township:	
Sec:	T: R:
PIN No.:	
Zoning:	

SIGN PERMIT ARCHITECTURAL COMMISSION APPLICATION

BUSINESS NAME: <u>Epilogue Inc.</u>	BUS. PHONE #: <u>847-383-5912</u>
BUSINESS ADDRESS: <u>130 Old McHenry Rd</u>	
BUSINESS OWNER'S NAME: <u>Rachel Perkal</u>	ALTERNATE PH. #: <u>630992-5607</u>

TYPE OF SIGN(S) FOR WHICH YOU ARE APPLYING:	<u>Retail Business / B-1 Historic Business Dist.</u>
LOCATION(S) OF PROPOSED SIGN PLACEMENT:	<u>On Building Front + On Current Sign Post</u>

The Architectural Commission meets every third (3rd) Monday of the month at 7:00pm in the Village Hall. The applicant (or representative) must be present. Please prepare and submit six (6) sets of all of the following information two weeks prior to the meeting:

1. THIS FULLY COMPLETED APPLICATION SIGNED BY BOTH THE PETITIONER AND THE PROPERTY OWNER
2. REGARDING THE POSITION OR LOCATION OF PROPOSED SIGN ON THE BUILDING OR PROPERTY:
 - (a) PROVIDE SITE PLAN
 - (b) PROVIDE PHOTOGRAPH OF THE LOCATION ON THE PROPERTY OR BUILDING WHERE THE SIGN WOULD BE INSTALLED
 - (c) SQUARE FOOTAGE OF COMMERCIAL SPACE FOR WHICH SIGN IS BEING INSTALLED:

1200 sq. ft.
3. PROVIDE A DETAILED DRAWING (TO SCALE) OF THE PROPOSED SIGN, INCLUDING:
 - (a) DIMENSIONS
 - (b) SAMPLE OF COLORS ON SIGN
 - (c) LETTER STYLE TO BE USED
 - (d) SAMPLE OF ANY UNUSUAL MATERIAL TO BE USED ON THE SIGN

Should the sign be completed prior to the architectural board's approval (this is not encouraged), the sign itself, or a photograph of the sign, shall be presented at the Architectural Board meeting.

SIGN CONTRACTOR:

NAME: <u>Signs Now</u>	PHONE #: <u>847-566-9020</u>
ADDRESS: <u>1500 S. Lake St. Mundelein IL 60060</u>	

The property owner's signature is required below before any sign application may be processed. The property owner's signature is confirmation that he/she has read and understands the regulations governing the erection of signs in the Village of Long Grove and further approves the erection of the above-described sign on his/her property.

X Mendall Towner

 PROPERTY OWNER(S) SIGNATURE(S)

Mendall Towner

 PROPERTY OWNER(S) PRINTED NAME(S)

Rachel Perkal

 BUSINESS OWNER(S) SIGNATURE(S)

(See the reverse side for maximum sign dimensions and fee schedule.)

**SIGN PERMIT
ARCHITECTURAL COMMISSION APPLICATION**

MAXIMUM SIGN SIZES AND FEES

The following dimension regulations and fee information are provided as a guideline and are excerpted from the Village Code, 5-19, "Sign Regulations." It is recommended that applicants read the entire section, available online at www.longgrove.net, to better understand the basis for sign permit approval.

RETAIL BUSINESSES:

MAXIMUM SIGN AREA (SQ. FT.) PERMITTED IN BUSINESS DISTRICTS			
TOTAL FLOOR AREA OF BUSINESS	B1	B2	
		NO INDIVIDUAL ARTERIAL ACCESS	INDIVIDUAL ARTERIAL ACCESS
1 – 500 sq. ft.	12	10	75
501 – 1,000 sq. ft.	12	12	75
1,001 – 3,000 sq. ft.	20	20	100
3,001 – 5,000 sq. ft.	30	30	125
5,001 or greater	30	30 ¹	125 ²

¹ For each additional 2,000 sq. ft., an additional 10 sq. ft. of signage is permitted. The maximum total signage area shall not exceed 50 sq. ft.

² For each additional 2,000 sq. ft., an additional 10 sq. ft. of signage is permitted. The maximum total signage area shall not exceed 145 sq. ft.

FEE: Fees are calculated based on square footage of the sign and are as follows:

B – 1 DISTRICT		B – 2 DISTRICT	
10 sq. ft. or less	\$50.00	75 sq. ft. or less	\$100.00
10.1 – 12 sq. ft.	\$60.00	75.1 sq. ft. – 100 sq. ft.	\$125.00
12.1 – 20 sq. ft.	\$70.00	100.1 sq. ft. – 125 sq. ft.	\$150.00
20.1 – 30 sq. ft.	\$80.00	125.1 sq. ft. or greater	\$200.00
30.1 sq. ft. or greater	\$100.00		

SUBDIVISION IDENTIFICATION SIGNS:

Not more than one (1) sign per entrance to subdivision; no single sign may exceed 40 sq. ft.

FEE: \$50.00 per sign

SUBDIVISION DEVELOPMENT SIGN:

FEE: \$100.00 per sign

OFFICE & OFFICE RESEARCH DISTRICT:

Maximum two (2) signs, not to exceed 100 sq. ft. total combined dimension; 50 sq. ft. maximum per sign.

Number of signs must be approved by Architectural Commission.

FEE: \$200.00 per sign

FOR OFFICE USE ONLY

TYPE OF SIGN(S):	FEE(S):

Amount Paid:	
Date Paid:	
Permit #:	
Date of Issuance:	

Signature Of Village Zoning Official

Signature of Village Official Issuing Building Permit

Planning and Design Guidelines

Privately-owned Properties, *continued*

Historic Downtown

Signage Regulations

Signs

Signs shall follow the requirements set forth in the Long Grove Municipal Code, 5-9-5, Signs, to the greatest extent possible, except as listed below.

General Requirements

- Signs must reflect the historic and eclectic feel of the Long Grove Historic Downtown and be integrated within the landscaping and architecture whenever possible.
- Creative and unique signs are encouraged.
- Signs may not be internally illuminated.
- Recommended signs can be illuminated with architecturally appropriate fixtures including goose-neck style, carriage style, ground sign up lighting, or other fixtures designed to be hidden from view.

Placement

- No sign shall be placed more than 12 feet above finished grade at the main entrance of the building.
- Signs must be placed adjacent to the destination they are intended to serve.
- Window signs area allowed but are to cover no more than 20% of the total window space.

Colors

- A darker background with lighter lettering is encouraged.
- Use body colors for awnings and canopies that blend with the building facade.

Materials

- Signs should be simple and constructed of high quality materials.
- Signs must be durable, vandal resistant, and designed for easy maintenance.
- Suggested materials include painted wood, metal, and stone.
- No particle board or plastic is allowed.
- Highly reflective metallic signs are not permitted.

Content

- Signs shall be limited to the business name and a maximum of five additional words describing the products or services.
- Signs may not include an email, web, address, or phone number of the business.
- A graphic or symbol may be included on the sign given it is complementary to the overall design of the sign.

Temporary Signs

- Temporary signs must comply with Section 5-9-3 of the Long Grove Municipal Code.
- Hand lettered or temporary ground stake signs are prohibited.
- Daily retail "specials" signs or sandwich board are not allowed to be placed within the right-of-way.



Item #1D:
Report Of AC Meeting - December 15, 2014:
Clayoven Signage, Long Grove Commons



ITEM #5: For the ARCHITECTURAL COMMISSION on MONDAY, December 15th 2014 @ 7:00 P.M.

REQUEST: Consideration of a request for signage (change of copy) for “Clayoven Tandoor” (formerly “Urban Tandoor”), 3970 Rt. 22, Long Grove Commons, Building 8, within the B-2 PUD District, submitted by Sign-A-Rama.

HISTORY/STAFF REVIEW:

The property in question is located at 3970 Route 22 and is one of two buildings located on the west end of Long Grove Commons Development. The structure was previously occupied by “Eggsperience”, “Rhapsody Café” and more recently the “Urban Tandoor” restaurant. The restaurant has changed ownership necessitating the signage request.

As submitted the petitioner proposes two wall signs measuring 7’ x 2.5’ (17.5 Sq. Ft.). Signage for the commercial space for which the sign is being requested was determined as part of the overall PUD approval process for Long Grove Commons. Building 8 was allocated signage as follows:

- North Elevation – No signage approved
- South Elevation - 1 sign; 6 square feet
- East Elevation - 2 signs; 6 & 18 square feet respectively
- West Elevation - 2 signs; 6 & 18 square feet respectively

Also attached are copies of the approved elevations which identify sign placement on building 8 (as well as the square footage allocated to each sign). With the exception of the name change this request is identical to the previously approved “Urban Tandoor” signage request.

As proposed wall signs would be located on east and west elevations. One elevation (over the main entrance) is shown. This exact sign would be placed in the designated location on the east side of the building as well. The location and square footage proposed is consistent the previously approved PUD signage for this structure.

The wall signs as proposed will be constructed of plastic letters mounted to the building façade, red and black in color. A temporary sign has been approved and placed on the south side of the structure. The temporary sign mirrors the proposed permanent signage. Permanent signage is proposed to be non-illuminated.

ARCHITECTURAL COMMISSION DECISION:

The property is zoned B-2 PUD. As such, the sign regulations have been modified by the PUD ordinance. The size and location of signage as proposed are consistent with that approval. It is suggested that consistency as well as the overall character of the development be considered with regard to individual signage requests.

**SIGN PERMIT
ARCHITECTURAL COMMISSION APPLICATION**

MAXIMUM SIGN SIZES AND FEES

The following dimension regulations and fee information are provided as a guideline and are excerpted from the Village Code, 5-19, "Sign Regulations." It is recommended that applicants read the entire section, available online at www.longgrove.net, to better understand the basis for sign permit approval.

RETAIL BUSINESSES:

MAXIMUM SIGN AREA (SQ. FT.) PERMITTED IN BUSINESS DISTRICTS			
TOTAL FLOOR AREA OF BUSINESS	B1	B2	
		NO INDIVIDUAL ARTERIAL ACCESS	INDIVIDUAL ARTERIAL ACCESS
1 – 500 sq. ft.	12	10	75
501 – 1,000 sq. ft.	12	12	75
1,001 – 3,000 sq. ft.	20	20	100
3,001 – 5,000 sq. ft.	30	30	125
5,001 or greater	30	30 ¹	125 ²
¹ For each additional 2,000 sq. ft., an additional 10 sq. ft. of signage is permitted. The maximum total signage area shall not exceed 50 sq. ft.			
² For each additional 2,000 sq. ft., an additional 10 sq. ft. of signage is permitted. The maximum total signage area shall not exceed 145 sq. ft.			

FEE: Fees are calculated based on square footage of the sign and are as follows:

B – 1 DISTRICT		B – 2 DISTRICT	
10 sq. ft. or less	\$50.00	75 sq. ft. or less	\$100.00
10.1 – 12 sq. ft.	\$60.00	75.1 sq. ft. – 100 sq. ft.	\$125.00
12.1 – 20 sq. ft.	\$70.00	100.1 sq. ft. – 125 sq. ft.	\$150.00
20.1 – 30 sq. ft.	\$80.00	125.1 sq. ft. or greater	\$200.00
30.1 sq. ft. or greater	\$100.00		

SUBDIVISION IDENTIFICATION SIGNS:

Not more than one (1) sign per entrance to subdivision; no single sign may exceed 40 sq. ft.

FEE: \$50.00 per sign

SUBDIVISION DEVELOPMENT SIGN:

FEE: \$100.00 per sign

OFFICE & OFFICE RESEARCH DISTRICT:

Maximum two (2) signs, not to exceed 100 sq. ft. total combined dimension; 50 sq. ft. maximum per sign. Number of signs must be approved by Architectural Commission.

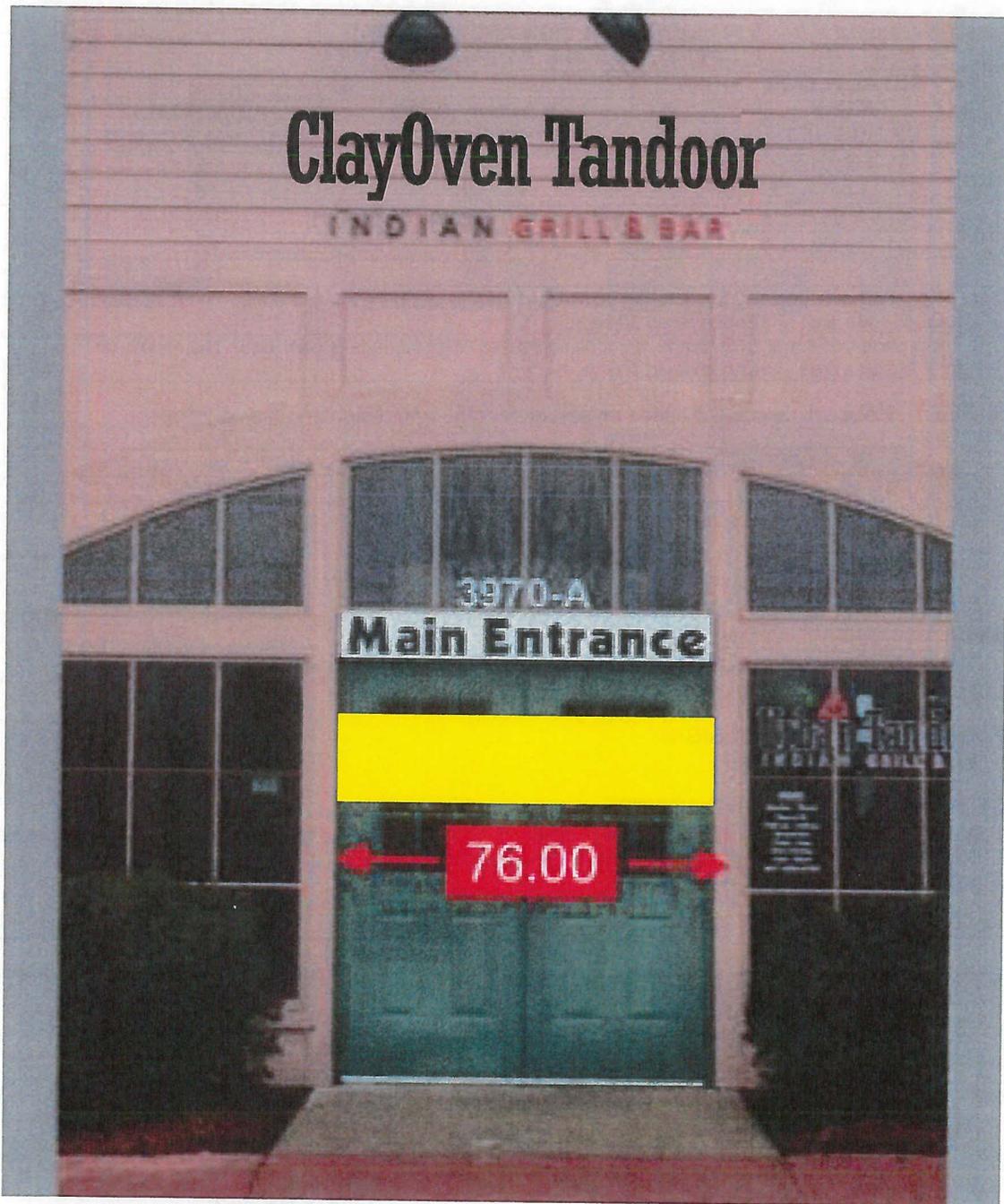
FEE: \$200.00 per sign

FOR OFFICE USE ONLY			
TYPE OF SIGN(S):	FEE(S):	Amount Paid:	
		Date Paid:	
		Permit #:	
		Date of Issuance:	
_____ Signature Of Village Zoning Official		_____ Signature of Village Official Issuing Building Permit	

ARCHITECTURAL COMMISSION APPLICATION

PLAN AND SECTION DRAWINGS AND PERMITS
The following dimension regulations and floor area are provided as a guide only and are subject to change. The Village Code 9-15, Section 9-15.01, requires that all buildings be constructed in accordance with the International Building Code (IBC) and the International Fire Code (IFC) as amended by the Village of Cary, North Carolina. The Village of Cary, North Carolina, is a member of the Triangle Regional Council of Governments (TRCOG) and is subject to the TRCOG's rules and regulations. The Village of Cary, North Carolina, is a member of the Triangle Regional Council of Governments (TRCOG) and is subject to the TRCOG's rules and regulations.

PERMITS AND FEES



Signature of Village Planning Director: _____
Signature of Village Council Member: _____

Item #1E:
Report Of AC Meeting - December 15, 2014:
Clover Signage, Downtown



ITEM #6: For the ARCHITECTURAL COMMISSION on MONDAY, December 15, 2014 @ 7:00 P.M.

REQUEST: Consideration of a request for signage for “Clover”, 225 Robert Parker Coffin Road within the B-1 Historic District, submitted by Jing Wu.

HISTORY/STAFF REVIEW:

The property in question is located in the Mill Pond Development. The space was formerly occupied by “Dandy Things”.

Based upon the items submitted the petitioner is requesting two signs (1) wall sign measuring 27”x 9” (1.68 sq. ft.) and one (1) double faced hanging sign to be placed on the corner of the structure measuring 28”x 9” (1.7 sq. ft.). The sum total of the requested signage is 3.4 square feet. Materials out of which the signs will be constructed are wood with raised wood letters. The signage would be brown with black letters and a green logo regard to the color scheme (signs were temporarily mounted for illustrative purposes). Signage is non-illuminated.

Square footage of the commercial space for which the signage is being requested is approximately 680 square feet. For retail spaces containing 501 to 1000 sq. ft. of floor area 12 square feet of signage may be allowed per the Village Zoning Code (excerpt below).

Based upon the total square footage of the leasable commercial space and square footage of the signage proposed (3.4 square feet), the request is within the maximum square footage limitation for the floor area at this location.

Per the village sign regulations one wall sign and one hanging sign are permissible at this location as follows;

(1) The limit of signs per business establishment is one ground sign, one nameplate sign, and one wall sign or one canopy sign.

SIGN REGULATIONS:

The following are excerpts of applicable portions of the Village Sign Ordinance:

- (d) Business District Signage. The cumulative size of all signs permitted by this ordinance shall be governed by the square footage of the associated business as follows:
- (1) Except as otherwise authorized by variation pursuant to section 5-11-15(E)1(c) of this code, the cumulative total square footage for all signs shall not exceed the following:

**MAXIMUM SIGN AREA PERMITTED IN
BUSINESS ZONING DISTRICTS IN SQUARE FEET**

Total Area of Business in Square Feet	B1		B2
	No Arterial Access	Arterial Access	Arterial Access
1-1,000	12	12	20
1,001-3,000	20	20	30
3,001-5,000	30	30	40
5,001 or greater	30	30 ⁽ⁱ⁾	50 ⁽ⁱⁱ⁾

- (i) For each additional 2,000 square feet, an additional 10 square feet of signage is permitted. The maximum total signage area shall not exceed 50 square feet.
- (ii) For each additional 2,000 square feet, an additional 10 square feet of signage is permitted. The maximum total signage area shall not exceed 70 square feet.

ARCHITECTURAL COMMISSION DECISION:

The Commission should review the request for signage against the aforementioned regulations and render a determination based upon those criteria as well as the appropriateness of the signage at this location in relation to other signage on the structure. As submitted the requested signage is with the parameters of the Village Code and therefore approvable.



28" x 9" x 1"



27" x 9" x 1"



FOR OFFICE USE ONLY:	
AC Received:	
AC Reviewed:	
AC Approved:	
Village Bd. Approved:	

FOR OFFICE USE ONLY:		
Date Received:		
Permit No.:		
Date Issued:		
Township:		
Sec:	T:	R:
PIN No.:		
Zoning:		

ARCHITECTURAL COMMISSION SIGN PERMIT APPLICATION

BUSINESS NAME:	<i>clover</i>	BUS. PHONE #:	
BUSINESS ADDRESS:	<i>225 Robert Parker Coffin Rd. Long Grove, IL 60047</i>		
BUSINESS OWNER'S NAME:	<i>Jing Wu</i>	E-MAIL:	<i>jingwulu@hotmail.com</i>

TYPE OF SIGN(S) FOR WHICH YOU ARE APPLYING:	<i>Hang sign</i>
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The Architectural Commission regularly meets every third (3rd) Monday of the month at 7:00pm in the Village Hall or as otherwise posted. The applicant (or representative) must be present. Please prepare and submit seven (7) sets of all of the following information ten (10) days prior to the meeting:

1. THIS FULLY COMPLETED APPLICATION SIGNED BY BOTH THE PETITIONER AND THE PROPERTY OWNER
2. REGARDING THE POSITION OR LOCATION OF PROPOSED SIGN ON THE BUILDING OR PROPERTY:
 - (a) PROVIDE SITE PLAN
 - (b) PROVIDE PHOTOGRAPH OF THE LOCATION ON THE PROPERTY OR BUILDING WHERE THE SIGN WOULD BE INSTALLED
 - (c) SQUARE FOOTAGE OF COMMERCIAL SPACE FOR WHICH SIGN IS BEING INSTALLED:

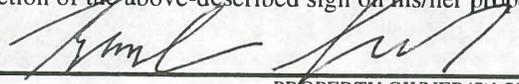
500 sq. ft.
3. PROVIDE A DETAILED DRAWING (TO SCALE) OF THE PROPOSED SIGN, INCLUDING:
 - (a) DIMENSIONS
 - (b) SAMPLE OF COLORS ON SIGN
 - (c) LETTER STYLE TO BE USED
 - (d) SAMPLE OF ANY UNUSUAL MATERIAL TO BE USED ON THE SIGN
 - (e) **FOR REQUESTS IN THE B-1 HISTORIC DISTRICT SEE SUGGESTED DESIGN GUIDELINES FOR SIGNAGE**

Should the sign be completed prior to the Architectural Commission's approval (this is not encouraged), the sign itself, or a photograph of the sign, shall be presented at the Architectural Commission meeting.

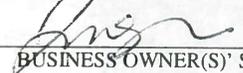
SIGN CONTRACTOR:

NAME:	PHONE #:
ADDRESS:	E-MAIL:

The property owner's signature is required below before any sign application may be processed. The property owner's signature is confirmation that he/she has read and understands the regulations governing the erection of signs in the Village of Long Grove and further approves the erection of the above-described sign on his/her property.



 PROPERTY OWNER(S)' SIGNATURE(S)


 PROPERTY OWNER(S)' PRINTED NAME(S)


 BUSINESS OWNER(S)' SIGNATURE(S)

(See the reverse side for maximum sign dimensions and fee schedule.)

**SIGN PERMIT
ARCHITECTURAL COMMISSION APPLICATION
MAXIMUM SIGN SIZES AND FEES**

The following dimension regulations and fee information are provided as a guideline and are excerpted from the Village Zoning Code, 5-9-5, "Sign Regulations." It is recommended that applicants read the entire section, available online at www.longgrove.net, to better understand the basis for sign permit approval.

RETAIL BUSINESSES:

MAXIMUM SIGN AREA (SQ. FT.) PERMITTED IN BUSINESS DISTRICTS			
TOTAL FLOOR AREA OF BUSINESS	B1*	B2	
		NO INDIVIDUAL ARTERIAL ACCESS	INDIVIDUAL ARTERIAL ACCESS
1 – 500 sq. ft.	12	12	75
501 – 1,000 sq. ft.	12	12	75
1,001 – 3,000 sq. ft.	20	20	100
3,001 – 5,000 sq. ft.	30	30	125
5,001 or greater	30	30 ¹	125 ²

¹ For each additional 2,000 sq. ft., an additional 10 sq. ft. of signage is permitted. The maximum total signage area shall not exceed 50 sq. ft.

² For each additional 2,000 sq. ft., an additional 10 sq. ft. of signage is permitted. The maximum total signage area shall not exceed 145 sq. ft.

FEE: Fees are calculated based on square footage of the sign and are as follows:

B – 1 DISTRICT*		B – 2 DISTRICT	
10 sq. ft. or less	\$50.00	75 sq. ft. or less	\$100.00
10.1 – 12 sq. ft.	\$60.00	75.1 sq. ft. – 100 sq. ft.	\$125.00
12.1 – 20 sq. ft.	\$70.00	100.1 sq. ft. – 125 sq. ft.	\$150.00
20.1 – 30 sq. ft.	\$80.00	125.1 sq. ft. or greater	\$200.00
30.1 sq. ft. or greater	\$100.00		

SUBDIVISION IDENTIFICATION SIGNS:

Not more than one (2) signs per entrance to subdivision; total signage not to exceed 40 sq. ft.

FEE: \$50.00 per sign

SUBDIVISION DEVELOPMENT SIGN:

FEE: \$100.00 per sign

OFFICE & OFFICE RESEARCH DISTRICT:

Maximum two (2) signs, not to exceed 100 sq. ft. total combined dimension; 50 sq. ft. maximum per sign.

Number of signs must be approved by Architectural Commission.

FEE: \$200.00 per sign

***SEE DESIGN GUIDELINES FOR THE B-1 HISTORIC DISTRICT (ATTACHED)**

FOR OFFICE USE ONLY					
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;">TYPE OF SIGN(S)</th> <th style="width: 50%;">FEE(S)</th> </tr> </thead> <tbody> <tr> <td style="height: 100px;"> </td> <td> </td> </tr> </tbody> </table>	TYPE OF SIGN(S)	FEE(S)			<p>Amount Paid: _____</p> <p>Date Paid: _____</p> <p>Permit #: _____</p>
TYPE OF SIGN(S)	FEE(S)				
<p>Village Official: _____</p>	<p>Date of Issuance: _____</p>				

Planning and Design Guidelines

Privately-owned Properties, *continued*

Historic Downtown

Signage Regulations

Signs

Signs shall follow the requirements set forth in the Long Grove Municipal Code, 5-9-5, Signs, to the greatest extent possible, except as listed below.

General Requirements

- Signs must reflect the historic and eclectic feel of the Long Grove Historic Downtown and be integrated within the landscaping and architecture whenever possible.
- Creative and unique signs are encouraged.
- Signs may not be internally illuminated.
- Recommended signs can be illuminated with architecturally appropriate fixtures including goose-neck style, carriage style, ground sign up lighting, or other fixtures designed to be hidden from view.

Placement

- No sign shall be placed more than 12 feet above finished grade at the main entrance of the building.
- Signs must be placed adjacent to the destination they are intended to serve.
- Window signs area allowed but are to cover no more than 20% of the total window space.

Colors

- A darker background with lighter lettering is encouraged.
- Use body colors for awnings and canopies that blend with the building facade.

Materials

- Signs should be simple and constructed of high quality materials.
- Signs must be durable, vandal resistant, and designed for easy maintenance.
- Suggested materials include painted wood, metal, and stone.
- No particle board or plastic is allowed.
- Highly reflective metallic signs are not permitted.

Content

- Signs shall be limited to the business name and a maximum of five additional words describing the products or services.
- Signs may not include an email, web, address, or phone number of the business.
- A graphic or symbol may be included on the sign given it is complementary to the overall design of the sign.

Temporary Signs

- Temporary signs must comply with Section 5-9-3 of the Long Grove Municipal Code.
- Hand lettered or temporary ground stake signs are prohibited.
- Daily retail "specials" signs or sandwich board are not allowed to be placed within the right-of-way.



Item #1F:
Report Of AC Meeting - December 15, 2014:
New Residence Exterior Elevations, Orchards Subdivision



Item #7: Consideration of exterior elevations for house plans on property at 3998 RFD (Lot 4; The Orchards PUD) submitted by Mr. William Gronow, Castle Creek Homes.

Proposal:

Per the preliminary approval ordinance for The Orchards PUD granted in 2004, all elevations of any residence to be constructed in the development are to be reviewed by the AC as follows;

Attached are B&W elevations for the proposed residence, as well as a materials list, on the aforementioned lot within The Orchards PUD.

As proposed the structure will be a single story with a hardiboard and & stone façade with asphalt shingles. Elevations for the structure are attached. Material samples will be available at meeting time. Attached is a copy of a portion of the final plat which provides the location of the property in question within the subdivision.

This is the fourth residence to be built within the development.

Architectural Commission Decision:

The preliminary approval ordinance for The Orchards PUD states the following;

Design Standards. The Applicant shall submit elevations and detailed plans and renderings for review and approval by the Architectural Board of Review. The elevations and detailed plans and renderings shall include without limitation details regarding the exterior architectural styles, quality of design and its relationship to the overall development, predominant materials, exterior amenities, and interior amenities. In addition, the Applicant shall comply with the architectural control regulations contained in Chapters 5-20 and 5-22 of the Long Grove Zoning Code.

Per the zoning code the following should be considered by the AC in the review of the proposed structures (formerly Chapters 5-20 & 5-22 of the Village Code).

5-3-11 ANTI-MONOTONY REGULATIONS

- (A) Purpose. The intent of this section 5-3-11 is to ensure sufficient variety in detached single family dwellings to prevent monotony, and to foster the quality and character of residential construction traditionally found in the village. At the same time, these regulations are designed to provide freedom for homeowners to design detached single family dwellings that meet their needs and choices and to encourage creativity.

- (B) Mandatory Criteria. The following criteria shall apply to all new detached single family dwelling construction:
1. Similarity Regulated. No detached single family dwelling may be similar to any other detached single family dwelling along a street or cul-de-sac, or within one thousand five hundred feet (1,500') (as measured from lot line to lot line), whichever is more restrictive.
 2. Window, Door, and Trim. Each detached single family dwelling shall have similar style and quality window, door, trim, and decorative moldings on all exterior building elevations of the detached single family dwelling.
 3. Building Materials. Identical or substantially similar siding materials or veneers shall be used on all exterior sides of the detached single family dwelling. This does not prohibit the use of veneers or changes of materials on a facade where, for example, materials might change at the second floor or at a windowsill height. Where a wing or projection of the building is offset, the wing or projection may use different materials to give it emphasis, provided the materials are applied to the entire wing or projection.
 4. Roof Overhangs. An important element of design is the shadow lines that are created by roofs and help articulate the building. Any detached single family dwelling having a pitched roof shall have eaves that extend a sufficient distance to create shadow lines. A variety of overhangs is desired. The following standards shall apply:
 - (a) Variety. Within a subdivision or planned unit development, the detached single family dwellings shall have a variety of different roof overhang profiles.
 - (b) Extension. The overhang of a detached single family dwelling, not including gutters, shall extend at least eight inches (8") beyond the plane of the wall.
 - (c) Exception. The minimum overhang shall not apply to any individual detached single family dwelling built in an historical style where overhangs were not part of the style (Cape Cod, for example) or in a unique individual design. The architectural board shall review the architectural plans for such dwellings.
 5. Garage Placement And Orientation. Within a particular subdivision or planned unit development, no more than twenty five percent (25%) of garages may be front loads located at the front of the detached single family dwelling. The following are preferred alternatives to front load garages, which alternatives are illustrated on appendix 1:
 - (a) Side load garages.
 - (b) Side loading front garages. These are garages located in wings in front of the principal facade or entrance facade.

- (d) Recessed front loading garages. Where the two (2) car garage is in a wing that is recessed twenty feet (20') or more behind the front elevation, it shall not be considered a front loaded garage.
 - (e) Rear garages. These are either freestanding or attached garages that are located to the rear and that have the view from the street screened by a wing of the building.
- (C) Multiple Dwellings. An owner who builds more than one detached single family dwelling must utilize four (4) or more of the following techniques to avoid monotony and ensure quality:
1. Roof Heights. Utilize dissimilar roof heights. One or a combination of the following shall be used to achieve the desired effect:
 - (a) Vary the number of stories on adjoining lots.
 - (b) Vary the roof pitches on otherwise similar detached single family dwellings.
 - (c) Vary the roofline height on the individual detached single family dwelling. The number of stories can be varied on the dwelling. Where the width of the dwelling is changed, the roof can be stepped down even though the stories remain similar. Wings should be of different heights based on different stories or widths.
 2. Roof Orientation. Vary roof orientation so that the gable ends are oriented in a different direction than an otherwise similar detached single family dwelling.
 3. Floor Plans. Utilize different floor plans with distinctive shapes, such as wings or elements that sharply contrast with adjoining dwellings or significant (at least 20 percent) changes in width of the central dwelling. Repetitive use of a similar form and floor plans having similar masses on different models is not permitted. A wing must protrude from the front of the building a minimum of eight feet (8') to be considered a wing.
 4. Placement on Lots. Vary the location of the detached single family dwellings in relation to the required front and side yard setbacks.
 5. Rotation or Flipping. Rotate the floor plan by ninety degrees (90°) or utilize a one hundred eighty degree (180°) flip combined with major differences in the plane of the front elevation.
 6. Lot Frontage and Size. Utilize significant variation in the width of detached single family dwellings which results in clearly different modules of windows and doors.

7. Architectural Style. Utilize different architectural styles for similar floor plans, which employ all the elements of a given style and are applied consistently throughout the dwelling.
 8. Architectural Details and Features. Utilize different details for the chimney, entrance, garage design, dormers, porches, and building materials to significantly alter the appearance of a detached single family dwelling to make it visually very different.
- (D) Individual Review. The owner shall submit a separate plan for each detached single family dwelling to the building superintendent for individual review and approval prior to issuance of a building permit. Applications shall include photos of the facades of the buildings or architectural elevations of existing dwellings along the same street or cul-de-sac or within one thousand five hundred feet (1,500') of the lot line of the proposed lot, whichever is more restrictive. The building superintendent may, when he deems it necessary to ensure compliance with this section 5-3-11, refer any such application to the architectural board for review and comments.
- (E) Appeals.
1. If the building superintendent denies an application, the owner can appeal that decision to the architectural board within ten (10) days of the denial by filing a written notice of appeal with the village clerk. The architectural board may affirm, modify, or reverse the decision of the building superintendent.
 2. The owner can appeal a decision of the architectural board to the village board within ten (10) days of the denial by filing a written notice of appeal with the village clerk. The village board may affirm, modify, or reverse the decision of the architectural board.
 3. Any appeal under this subsection 5-3-11(E) shall be reviewed in light of the criteria in subsection (b) and (c) and the purposes in subsection (A) of this section.
- (F) Responsibility. It is the responsibility of the owner to establish to the satisfaction of the village that the application fully complies with the provisions of this section.
- (G) Deviations. For good cause shown, the village board may approve deviations from strict conformity with this section when the owner establishes to the satisfaction of the village board that any such deviations are reasonably necessary and are not contrary to the purpose and intent of this section.

The AC is to review the proposed structures in light of the criteria listed above and make any recommendations as appropriate. Staff finds the structure to be in compliance with the Village Anti-monotony code.

EXTERIOR MATERIAL & COLOR SCHEME
LOT 4 – ORCHARDS OF LONG GROVE
GLASSMAN RESIDENCE
CASTLE CREEK HOMES L.P.
Submitted to Village of Long Grove for Architectural Review

MATERIAL

COLOR EXAMPLES

SIDING – LP SmartSide

Nuthatch/Portabello

TRIM – LP SmartSide

Trusty Tan/Sands of Time

(Incl. Fascia, Soffit, Railings)

STONE

Stone Harbor Weathered Edge/Desert Ashler River Rock

ROOFING

Heritage Premium Architectural F.G. Weathered Wood

WINDOWS

Almond/Territone

*Overall Color Scheme is to be Earth Tones and above Examples are to represent range of colors.

NOT FOR CONSTRUCTION

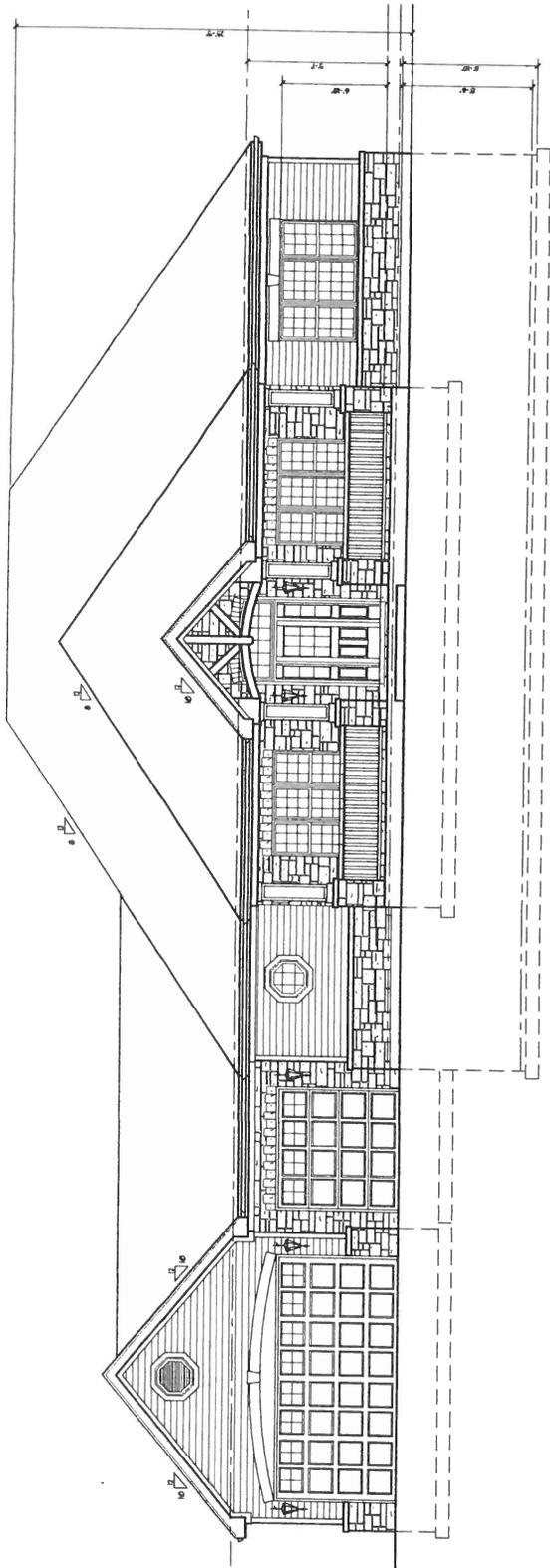
B.L.R. Architects
 Custom Homes Mutually Additions Consulting
 1129 Oden Avenue
 Lisle, Illinois 60532
 Phone: 630.435.0700
 Fax: 630.435.0701

**CUSTOM HOME FOR
 GLASSMAN RESIDENCE**
 3939 ORCHARD LANE
 LOT 4, THE ORCHARDS OF LONG GROVE
 BARRINGTON, IL

FIRST FLOOR

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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Drawn By: JH
 Title No.:
 Date: 10/20/02
 Issued For Permit:
 Sheet No.:



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION


B. L. R. Architects
 Custom Homes, Remodeling, Additions, Consulting
 109 Ogden Avenue
 Lake Illinois 60532
 Phone: 630.435.0700
 Fax: 630.435.0701

Copyright 2007 B. L. R. Architects, Ltd.

**CUSTOM HOME FOR
 GLASSMAN RESIDENCE**
 5500 ORCHARD LANE
 LOT 4, THE ORCHARDS OF LONG GROVE
 BARRINGTON, IL
 ELEVATIONS

NO.	REVISIONS
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Drawn By: JPT

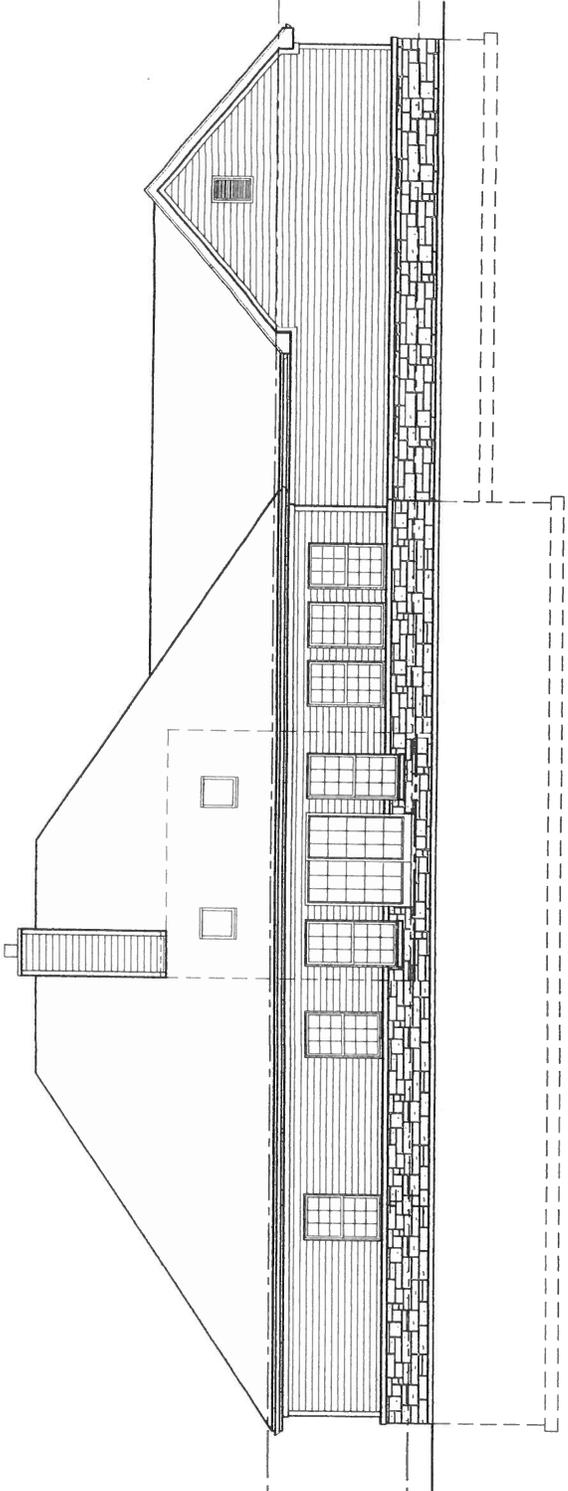
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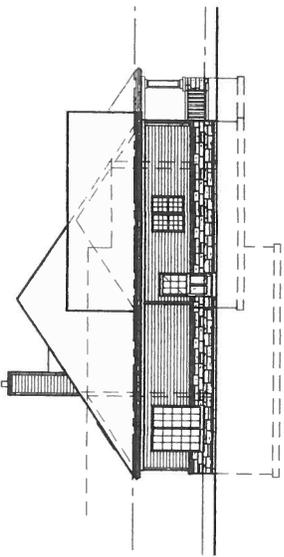
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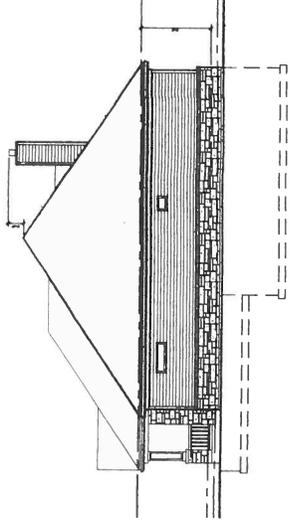
A2A



REAR ELEVATION
SCALE: 1/4" = 1'-0"



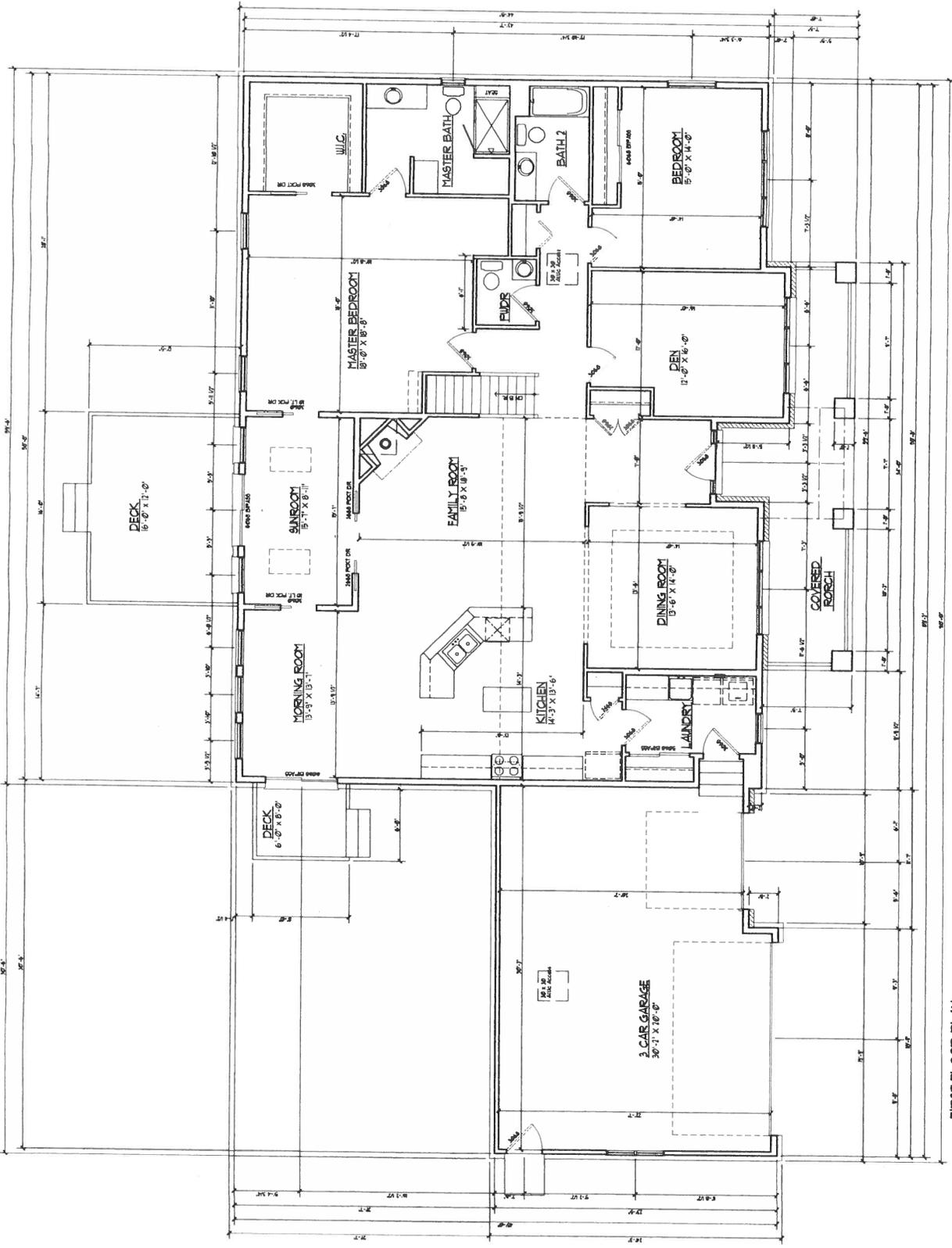
LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

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NOT FOR CONSTRUCTION



FIRST FLOOR PLAN
 TOTAL: 7585 Sq. Ft.

Item #1G:

Report Of AC Meeting - December 15, 2014:

Modifications To Bldg #1 Elevations, Long Grove Commons



ITEM #8: For the ARCHITECTURAL COMMISSION on MONDAY, December 15, 2014 @ 7:00 P.M.

REQUEST: Consideration of modifications to the approved elevations for Building 1 in the Long Grove Commons PUD for the for the "Primrose School" submitted by Mr. John Finnemore

HISTORY:

The Long Grove Commons received approval as a Planned Unit Development in May of 2005 as part of that approval building elevations were approved by the Architectural Commission. The architectural plans were reviewed for Building #1 as part of this approval. Buildings 1 and Building 2 are the last two buildings left to be constructed in the development. The lots on which these structures are proposed have remained vacant since they were approved in 2005. The approved elevations and structure (attached) per the PUD do not meet needs of the petitioner. Modifications to the structure as proposed are similar to those previously approved per the PUD approval and require AC approval.

The Cloverleaf Group, property owner and the Primrose School, contract purchaser, requested reconfiguration of the parking area Lots 6 & 7 (adjacent to buildings 1 & 2) and the modification of the building footprint for Lot 7 (Building 1). This would be done to accommodate the needs of the proposed tenant and contract purchaser (of both Lots 6 & 7) Primrose Schools. This request was approved by the Village Board as a minor PUD amendment at their November 11th regular meeting.

Proposal:

Staff has received a request for changes to Building 1 to accommodate the Primrose School of Long Grove. Petitioners have requested the change due to the needs of their business. Details of the request are attached for the review and consideration of the AC.

Site Plan:

The site plan remains essentially the same. Total square footage of all buildings remains under the cap of 38,030. Building 1 will still be a 2 story building but the second floor will now be utilized instead of vacant space. Total square footage for structure on lots 6 & 7 were calculated at 15,800 sq ft. As proposed Primrose would have a building foot print of 6418 sq. ft. which is less than the 8,060 sq ft. anticipated under the original approval. Originally and "L" shaped building the structure as now proposed is rectangular.

Parking is reconfigured however. As originally calculated 39 regular plus two handicapped spaces were allocated for Lot 7/Building 1. As built, 41 spaces plus 2 handicapped spaces were built. While spaces were assigned to each structure, the entire development is "cross-parked" meaning that any parking space is available for any store on-site. As proposed 39 spaces will be allotted for Lot 7/ Building 1 (plus 2 handicapped) which is the original number calculated for this portion of the development. See the attached diagram for reconfigured parking plan.

Lot coverage will actually decrease from the original proposal given the smaller building footprint and play areas anticipated for the proposed use of the property.

Building Elevations

Attached are the approved elevations for Building 1 per the Long Grove Commons PUD approval. As proposed this building was an "L" shaped two story building with false second floor. Materials proposed for the building were hardiboard and stone siding with asphalt shingles.

Proposed elevations for the building are attached. As noted the structure will have a smaller footprint with an occupied second floor. The structure will be placed in the same general location as anticipated in the original approval. Parking is proposed to be reconfigured and has been approved as a minor amendment to the original PUD approval.

Petitioners are proposing a two story structure similar in nature to the PUD approval. Material for the proposed structure include; hardiboard siding, stone and asphalt shingles, similar to those in the original approval. Earthtones are anticipated for the building color scheme. Material samples are anticipated to be presented at the meeting.

ARCHITECTURAL COMMISSION DECISION:

The property is zoned B-2 PUD and elevations for all structures were approved as part of the PUD approval. Petitioners are proposing a two story structure similar in nature to the PUD approval including colors and materials for the structure.

Minor modifications to allow reconfiguration of the parking area have been approved as a minor amendment to the approved PUD. Aside from this modification the proposed site plan remains consistent with the original PUD approval. Lot coverage will actually decrease from the original proposal given the smaller building footprint and play areas anticipated for the proposed use of the property.

The AC should review the modified structure for consistency with the character of the development and make recommendations as appropriate.

Respectfully Submitted,

James M. Hogue

James M. Hogue
Village Planner

A New Building For
 Primrose School Franchising Company
 3600 Cedarcrest Road
 North Georgia School
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 3600 Cedarcrest Road
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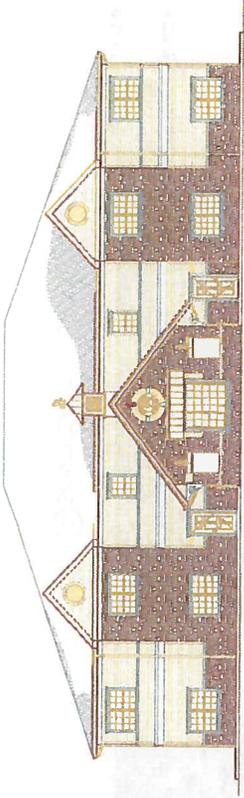


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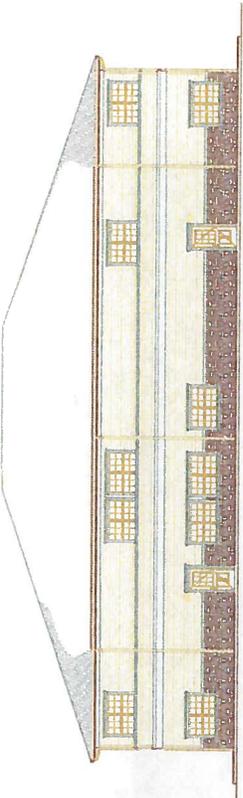
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 Project Name
 Project Location
 Project No.

Building Type
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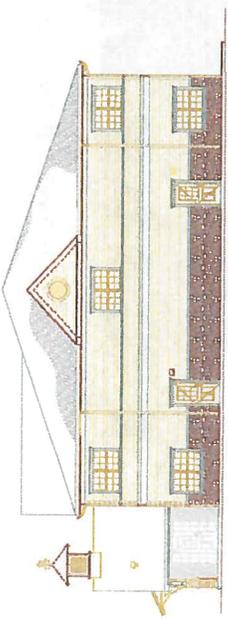
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 Date
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 Revision



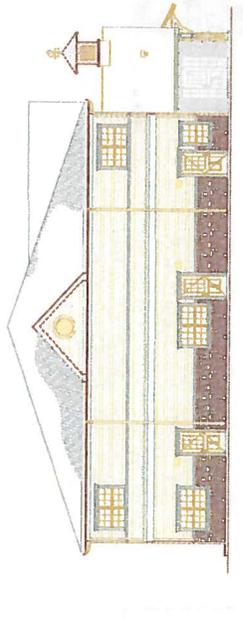
NORTHEAST ELEVATION



SOUTHWEST ELEVATION



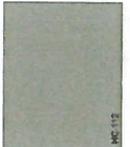
NORTHWEST ELEVATION



SOUTHEAST ELEVATION

EXTERIOR COLOR SCHEDULE

(A) TRASH ENCLOSURE GATES POST & RINGS	SPH 12 TATE OLIVE PAINT APPLICATION
(B) EXTERIOR DOOR TRIM, EXTERIOR DOORS, PAVED LEAVES, GRPA WALLS, GUTTERS AND GUTTER DOWNS, SPOTTES, EXTERIOR WOODEN FENCE	TO MATCH INTERIOR TRIM SANDSTONE BEIGE 400-20 (SPH 12-20 or SPH 20 180)
(C) WINDOWS	SANDSTONE BEIGE 400-20 (SPH 12-20 or SPH 20 180)
(D) SIDING	BEIGE ALABAMA SANDSTONE BEIGE 400-20 (SPH 12-20 or SPH 20 180)
(E) ASPHALT SHINGLES	WALP - 04 SHINGLES TO BE INSTALLED SHINGLES TO BE INSTALLED SHINGLES TO BE INSTALLED
(F) STANDING SEAM ROOF	ASPH/FLY SHINGLES - 12" COLOR - DARK BRONZE
(G) STEEL JAMBS SUPPORTS & WOOD BRACKETS	SANDSTONE BEIGE 400-20 (SPH 12-20 or SPH 20 180) RESISTAL PAINT EXTERIOR APPLICATION
(H) STONE	APPROXIMATE FROM LOCALS GROUT: BUFF COLORED MORTAR



A New Building For:
Primrose School Franchising Company
 3600 Cedarcrest Road
 Columbia, MO 65211
 Primrose School Franchising Company



Design Firm Registered No. 154-000293
R M E
 Architects & Engineers
 280 S. MICHIGAN AVE.
 CHICAGO, IL 60604
 (312) 835-4473 FAX
 (312) 835-4473 FAX

Site:
 2004 H. OLD MICHIGAN ROAD
 LOUISVILLE, MISSOURI
 Building Type:
 TWO-STORY

Drawing Title:
PRELIMINARY SITE PLAN

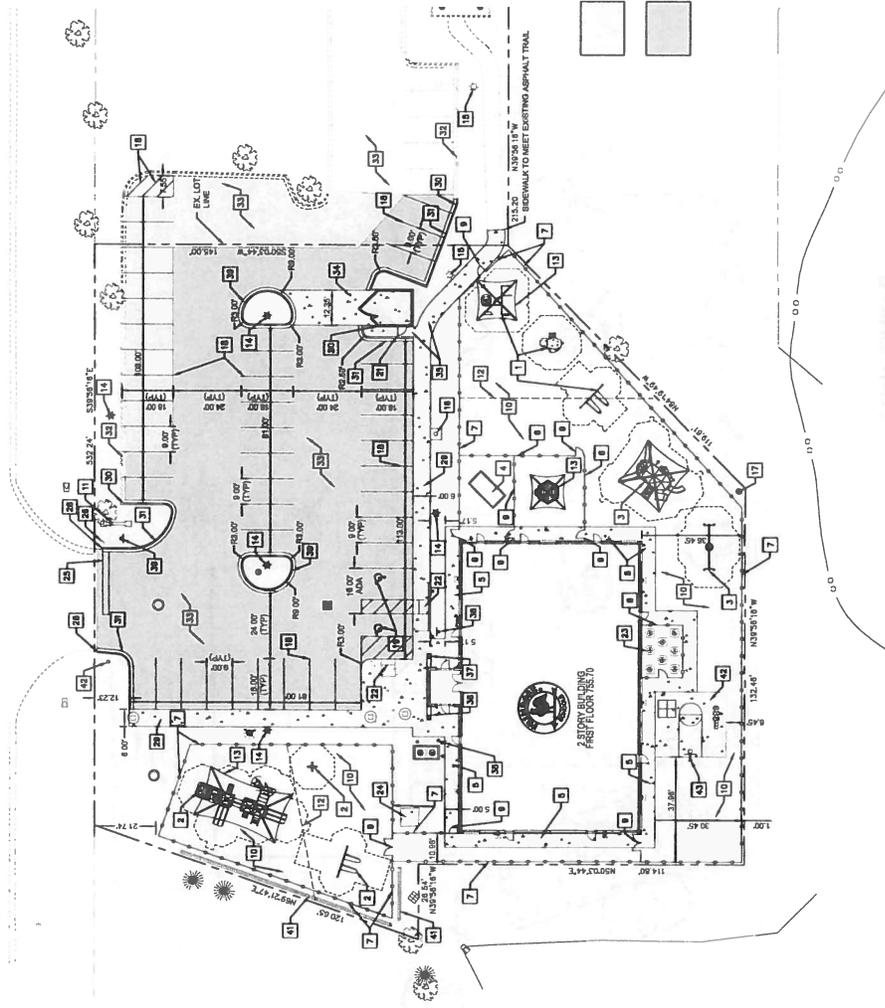
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Revision:

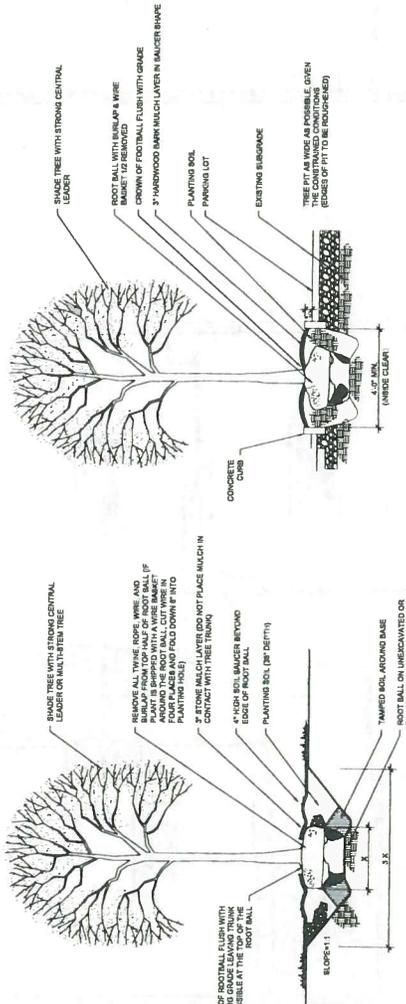
KEYNOTES

- 1 EARLY PRESCHOOL PLAYGROUND EQUIPMENT (SEE ARCHITECTURAL PLAN)
- 2 PRESCHOOL PLAYGROUND EQUIPMENT (SEE ARCHITECTURAL PLAN)
- 3 AFTER SCHOOL PLAYGROUND EQUIPMENT (SEE ARCHITECTURAL PLAN)
- 4 PRIMROSE PATCH 6"X12" AND SIGN (SEE ARCHITECTURAL PLAN)
- 5 5" W SIDEWALK (SEE ARCHITECTURAL PLAN)
- 6 4" BLACK VINYL FENCE WITH 3' W GATE TO MATCH - LATCH ON INSIDE
- 7 6" BLACK WROUGHT IRON FENCE, TYPICAL, ALL EXTERIOR
- 8 4" VINYL FENCE WITH 3' W GATE TO MATCH - LATCH ON INSIDE
- 9 4" W BLACK GATE TO MATCH FENCE MATERIAL, TYPICAL
- 10 XGRASS ARTIFICIAL TURF
- 11 PROPOSED MONUMENT SIGN (SEE ARCHITECTURAL PLAN)
- 12 50' AREA OF REFUGE
- 13 INTEGRAL SHADE (SEE ARCHITECTURAL PLAN)
- 14 RELOCATED PARKING LOT LIGHT (SEE ELECTRICAL PLAN)
- 15 EXISTING PARKING LOT LIGHT (SEE ELECTRICAL PLAN)
- 16 FLAGPOLE AND BASE (SEE ARCHITECTURAL PLAN)
- 17 DOMESTIC WATER WELL HEAD
- 18 4" WHITE (PAINT) PARKING STRIPING
- 19 ADA PARKING STRIPING, ACCESS ISLE, STORAGE AND WHEEL STOP (SEE DETAILS)
- 20 ADA COMPLIANT TRASH ENCLOSURE WITH CONCRETE APPROACH (SEE ARCHITECTURAL PLAN)
- 21 GATE TO MATCH TRASH ENCLOSURE (SEE ARCHITECTURAL PLAN)
- 22 ACCESSIBLE RAMP (SEE DETAILS)
- 23 CONCRETE UNITS BEHIND 4" SOLID VINYL FENCE (SEE ARCHITECTURAL PLAN)
- 24 EXISTING TRANSFORMER ON CONCRETE PAD
- 25 24" WHITE (PAINT) STOP BAR
- 26 EXISTING STOP SIGN
- 27 EXISTING BOLLARD
- 28 TRANSITION CURB TO 0" HEIGHT
- 29 COMBINATION CURB AND SIDEWALK
- 30 TRANSITION CURB TO MATCH EXISTING
- 31 M6.12 CURB AND GUTTER
- 32 EXIST. M6.12 CURB AND GUTTER
- 33 ASPHALT PAVEMENT
- 34 CONCRETE PAVEMENT / DUMPS/TER AREA
- 35 CONCRETE SIDEWALK
- 36 MAILBOX (SEE ARCHITECTURAL PLAN)
- 37 PARENT INFORMATION BOX (SEE ARCHITECTURAL PLAN)
- 38 "NO SMOKING" SIGN (SEE ARCHITECTURAL PLAN)
- 39 "BUCKLE UP" SIGN (SEE ARCHITECTURAL PLAN)
- 40 BICYCLE PARKING (NOT SHOWN ON THIS PLAN)
- 41 MODULAR BLOCK "RETAINING WALL"
- 42 CONCRETE PAVEMENT WITH PAINTED PLAYGROUND MARKINGS
- 43 BASKETBALL HOOP

OLD MICHIGAN ROAD
 COUNTY HIGHWAY 32

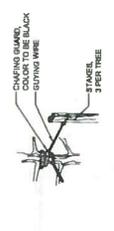


1 PRELIMINARY SITE PLAN
 SCALE: 1" = 20'
 0 20 40 80



1 TREE PLANTING DETAIL
NTS

2 TREE IN PLANTING ISLAND DETAIL
NTS



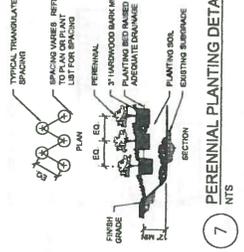
3 STAKING AND GUYING PLAN
NTS

4 GUYING SECTION
NTS

5 STAKING ELEVATION
NTS



6 SHRUB PLANTING DETAIL
NTS



7 PERENNIAL PLANTING DETAIL
NTS

- GENERAL PLANTING NOTES**
1. DETERMINE EXACT LOCATIONS OF ALL UNDERGROUND UTILITIES AND VERIFY IN FIELD. REPORT ANY CONFLICTS TO AGR PRIOR TO BEGINNING WORK.
 2. INFORM AGR AS EACH PHASE OF WORK IS UNDERTAKEN.
 3. REMOVE ALL EXISTING PLANT MATERIALS AND ALL EXISTING PAVEMENT AND INTERIOR TREES. REPLACE DAMAGED SECTIONS WITH APPROVED SUBSTITUTES.
 4. MAINTAIN SITE DRAINAGE DURING LANDSCAPE INSTALLATION.
 5. SLOPE ALL PLANTING AREAS AWAY FROM BUILDINGS AT 2% MINIMUM GRADE UNDO.
 6. PRIOR TO LANDSCAPE INSTALLATION, VERIFY PLANTING AREAS ARE GRADED AT 4\"/>
 - 7. IN LANDSCAPE AREAS, FINISH GRADE TO 4\"/>
 - 8. FINISH GRADE TO 1\"/>
 - 9. CONFIRM ALL PLANT QUANTITIES. PROVIDE PLANT MATERIALS SUFFICIENT TO COVER AREAS SHOWN ON PLANS AT THE SPACINGS INDICATED.
 - 10. PROVIDE SINGLE TRUNKED TREES UNDO.
 - 11. PROVIDE IDENTIFICATION TAGS FROM THE SUPPLYING NURSERY SHOWING COMMON AND BOTANICAL PLANT NAMES FOR ALL PLANTS. TAGS SHOULD BE ATTACHED TO THE TRUNKS OF TREES AND BRANCHES OF SHRUBS AND BURNED PRIOR TO FRONT LOADING TRANSPORTATION TO THE SITE AND WHILE BEING HELD AT THE SITE. DO NOT ATTACH TAGS TO TRUNKS OR BRANCHES MORE THAN ONE DAY.
 - 12. DO NOT DAMAGE PLANT ROOT BALL DURING TRANSPORTATION OR PLANTING.
 - 13. NOTIFY AGR AT THE TIME OF DELIVERY OF ANY PLANT MATERIAL THAT IS DAMAGED OR IN POOR CONDITION.
 - 14. AGR RESERVES THE RIGHT TO INSPECT ALL PLANT MATERIALS BEFORE PLANTING. MATERIAL MAY BE REJECTED AT ANY TIME IF IT DOES NOT MEET THE SPECIFICATIONS AND REQUIREMENTS OF THE CONTRACT.
 - 15. REUSE ALL ROCK AND GRS 1\"/>
 - 16. IN PLANTING SOIL PIT, REMOVE GRADED AGGREGATE TO AN ADEQUATE DEPTH TO INSURE THAT NO PART OF THE PLANT MATERIAL IS IN CONTACT OR AFFECTED BY THE LIME OR LIMESTONE IN THE AGGREGATE.
 - 17. PROVIDE NEW TOPSOIL THAT IS FERTILE, FINE AND NATURAL LOAM SURFACE SOIL, REASONABLY FREE OF SUBSOL, DANGERSON AND OTHER CONTAMINANTS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. TOPSOIL SHOULD BE ANY DIMENSION AND OTHER SPECIFICATIONS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. TOPSOIL SHOULD BE SPECIFIED PLANTING OR AGR TOPSOIL THAT OCCURS IN A DEPOSIT OF 10\"/>
 - 18. MIX SOIL AGGREGATE AND FERTILIZERS WITH TOPSOIL ON A SITE SPECIFIC BASIS AT RATES APPROPRIATE FOR EACH SPECIFIC SOIL TYPE.
 - 19. STAKE LOCATION OF ALL TREES, REMOVE LINES AND PLANTING BEES AND NOTIFY AGR FOR REVIEW PRIOR TO PLANTING.
 - 20. STAKE AND GUYING PLAN AND GUYING SECTION SHOULD BE APPROXIMATELY AS SHOWN ON THE LANDSCAPE PLANS AND NOTIFIED AGR FOR REVIEW PRIOR TO PLANTING.
 - 21. INSTALL ALL PLANT MATERIAL IN ACCORDANCE WITH DETAILS AND SPECIFICATIONS.
 - 22. REMOVE ALL PLANT TRUNK MATERIAL AND MARKING TAPES AT THE TIME OF PLANTING.
 - 23. MATERIAL SPREAD EXPOSED WHEN PLANTING SHOULD MEET THE PLAN.
 - 24. WATER ALL PLANTS IMMEDIATELY AFTER PLANTING. FLOOD PLANTS THREE TIMES FIRST TWENTY FOUR HOUR PERIOD OF PLANTING.
 - 25. GUY AND STAKE TREES AS DIRECTED BY AGR. IMMEDIATELY AFTER PLANTING PROVIDE A MINIMUM OF TWO GUY WIRES PER TREE ON THE UPWIND SIDE OF TREES PLANTED ON SLOPES STEEPER THAN 3:1.
 - 26. INSTALL AND MAINTAIN BOO TO PREVENT EVENT BEAMS.
 - 27. PROTECT SEEDING AREAS AND SLOPES AGAINST EROSION AND SOIL LOSS DUE TO BIRDS AND OTHER WILDLIFE BY INSTALLING PROTECTIVE NETTING AND SLOPE PROTECTION. NETTING SHOULD BE INSTALLED PRIOR TO SEEDING OPERATIONS. ADHERE TO MANUFACTURER'S SPECIFICATIONS FOR NETTING PLACEMENT AND STAKING.
 - 28. MAINTAIN ALL PLANTS AND LAWN FOR ONE YEAR AFTER FINAL ACCEPTANCE. REPLACE ANY PLANTS OR LAWN THAT DIE OR BECOME UNDESIRABLE WITHIN ONE YEAR AFTER FINAL ACCEPTANCE. REPLACE ANY PLANTS OR LAWN THAT DIE OR BECOME UNDESIRABLE WITHIN ONE YEAR AFTER FINAL ACCEPTANCE. COLLECT AND REMOVE ALL DEBRIS INCLUDING UNDESIRABLE GROWTH, EXCEPT FOR DEFECTS RESULTING FROM CONTROL. CONTROL DEBRIS TO BE REMOVED BY OTHERS. THE DEBRIS TO BE REMOVED SHOULD BE REMOVED FROM THE CONTROL.

Primosre School Franchising Company
 A New Building For
 3660 Cedarhurst Road
 Cedar Rapids, IA 52413
 319.266.2200
 primosre.com

Jeff Ordover
 LANDSCAPE ARCHITECT
 1100 N. UNIVERSITY AVE.
 SUITE 100
 CEDAR RAPIDS, IA 52403
 (319) 399-2200

Site: 2024 N. OLD MOOREY ROAD, LONG GROVE, ILLINOIS

Building Type: TWO-STORY

Drawing Title: LANDSCAPE DETAILS

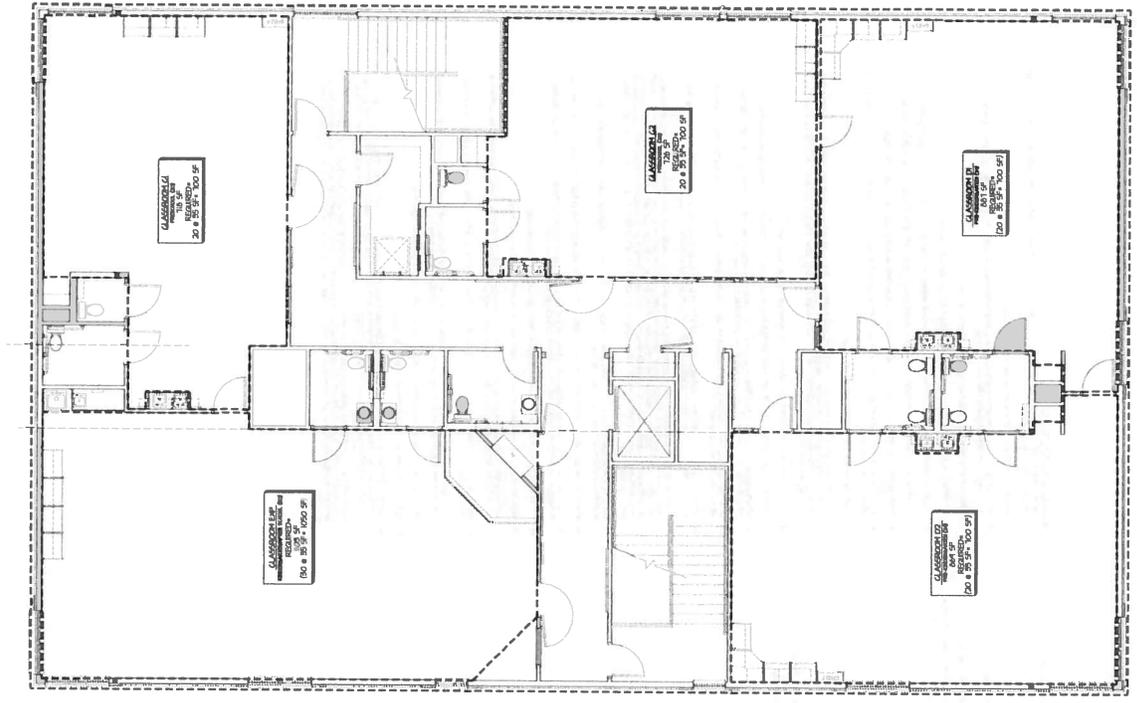
Date: 12/01/2014
 Drawn By: JJO
 Checked By: JJO
 Project Number: L-101

Revisions:

A New Building For
Primrose School Franchising Company
 3660 Cedarcrest Road
 Acworth, Georgia 30013
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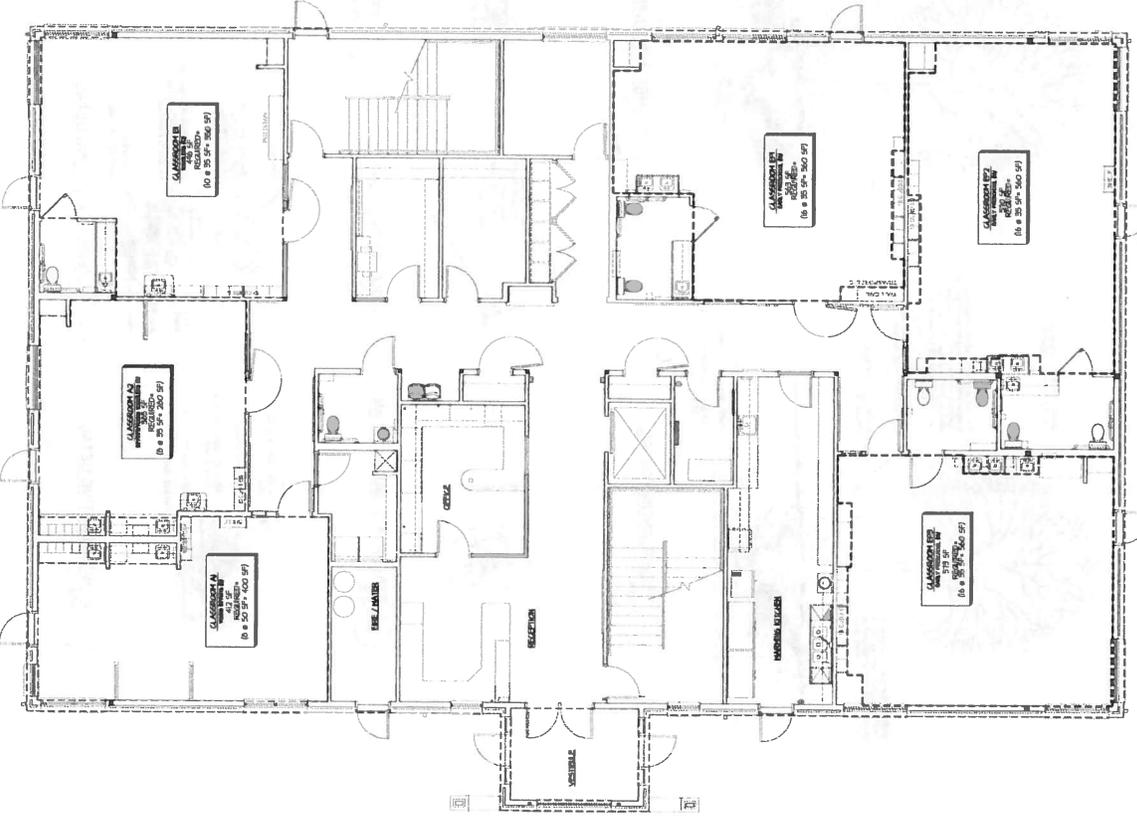
Site #	Primrose School at Oak Valley Road Long Grove, IL
Building Type	IL-2 School
Drawing Title	LICENSING/REGRESS FLOOR PLAN
Date	07/28/2014
Drawn By	CLM
Checked By	CLM
Drawing Number	A-14
Revisions	



2ND FLOOR LICENSING PLAN
 SCALE: 3/16" = 1'-0"
 2nd FLOOR AREA = 6,627 sf
 TOTAL AREA = 13,310 sf

OCCUPANCY LOAD CALCULATION

FUNCTION	AREA (sq. ft.)								
CLASSROOM 11	700								
CLASSROOM 12	700								
CLASSROOM 13	700								
CLASSROOM 14	700								
CLASSROOM 15	700								
CLASSROOM 16	700								
RECEPTION									
OFFICE									
STAIRS									
RESTROOMS									
TOTAL	6,627								



1ST FLOOR LICENSING PLAN
 SCALE: 3/16" = 1'-0"
 1st FLOOR AREA = 6,155 sf

Primrose-23064 N. Old McHenry Road, Long Grove, IL Statement of Project Objectives

Primrose School Franchising Company is the pre-eminent provider of educational based private preschools/kindergartens and child care centers in the United States with over 290 locations. Primrose, along our Franchise Owners, Jenny and Rich Wierzchon are very eager to bring the quality care and excellent academic programs that Primrose provides to Long Grove.

The proposed licensed capacity of the facility will be 184 students (30 of the 184 students will be in the kindergarten/after-school program). Also, Primrose and industry data indicate that approximately 25% of families have a second child enrolled which would reduce the number of families to approximately 140 at capacity. Staff at capacity will be 24.

The proposed Primrose is a 13,500sf, (2) story facility with approximately 16,000sf of playground area. There will be a (41) stall parking lot with direct, full access to Old McHenry Road and access via easement to Lake Zurich Road.

The Primrose hours of operation will be from 6:00 AM to 6:00 PM, Monday-Friday. Primrose is an excellent neighbor for the adjacent properties because we operate during daytime hours and are closed evenings and weekends.

The property is zoned PUD and when the PUD was approved in 2004, a child care center was anticipated to be constructed in the same location on Lot 7 as Primrose is now requesting the Village of Long Grove to approve. The elevations for the previously approved child care depicted a faux two story building. Primrose is proposing a fully functional two story building and is thus in keeping with the original design intent of the development. Existing utilities have been supplied to the pad area and will be utilized by Primrose. The existing road connections to Old McHenry and Lake Zurich Roads will remain as constructed. The internal circulation drives within the development will also remain unchanged. Lot 6 is being purchased by Primrose however, at this time there is not a proposed use for the existing building pad.

A minor change to the existing parking lot is requested; we are proposing to turn the parking stall configuration 90 degrees to better align with the placement of the Primrose facility and its main entry. In addition, the previously proposed building was "L" shaped and wrapped around the parking lot. The two story Primrose will be a rectangle and therefore the parking lot will also be straightened along the West line to form a continuous curb/sidewalk along the front building elevation. The current parking lot appears to have been designed for 44 stalls (not all of the lot is currently striped, therefore, some interpretation of the proposed striping is required) and the new configuration will yield 40 stalls which includes the required 2 Handicapped stalls.

Primrose looks forward to discussing a Minor Amendment to the PUD for the subject property at the November 11, 2014 Village Board meeting which will be the first step in developing a high quality, education based private school/child care facility for the families of Long Grove.



STRUCTURE/FIXTURE ARCHITECTURAL COMMISSION APPLICATION

DATE: _____

APPLICANT'S NAME: PRIMROSE SCHOOLS E-MAIL JFINNEMORE@PRIMROSESCHOOLS.COM
ADDRESS: 3660 CEDARCREST ROAD PHONE: 770/310-8755
NAME OF BUSINESS: PRIMROSE SCHOOL OF LONG GROVE
BUSINESS ADDRESS: 23064 N. OLD MCHENRY PHONE: TBD

TYPE OF STRUCTURE/FIXTURE: (2) STORY WOOD FRAME SLAB ON GIRADE STAIR CASE / PRIVATE PRE-SCHOOL

- 1 LOCATION OF STRUCTURE/FIXTURE ON PROPERTY:
A. PROVIDE SITE PLAN.
B. PROVIDE PHOTOGRAPH OF SITE.
C. SQUARE FOOTAGE OF STRUCTURE 13,382 SQUARE FEET.

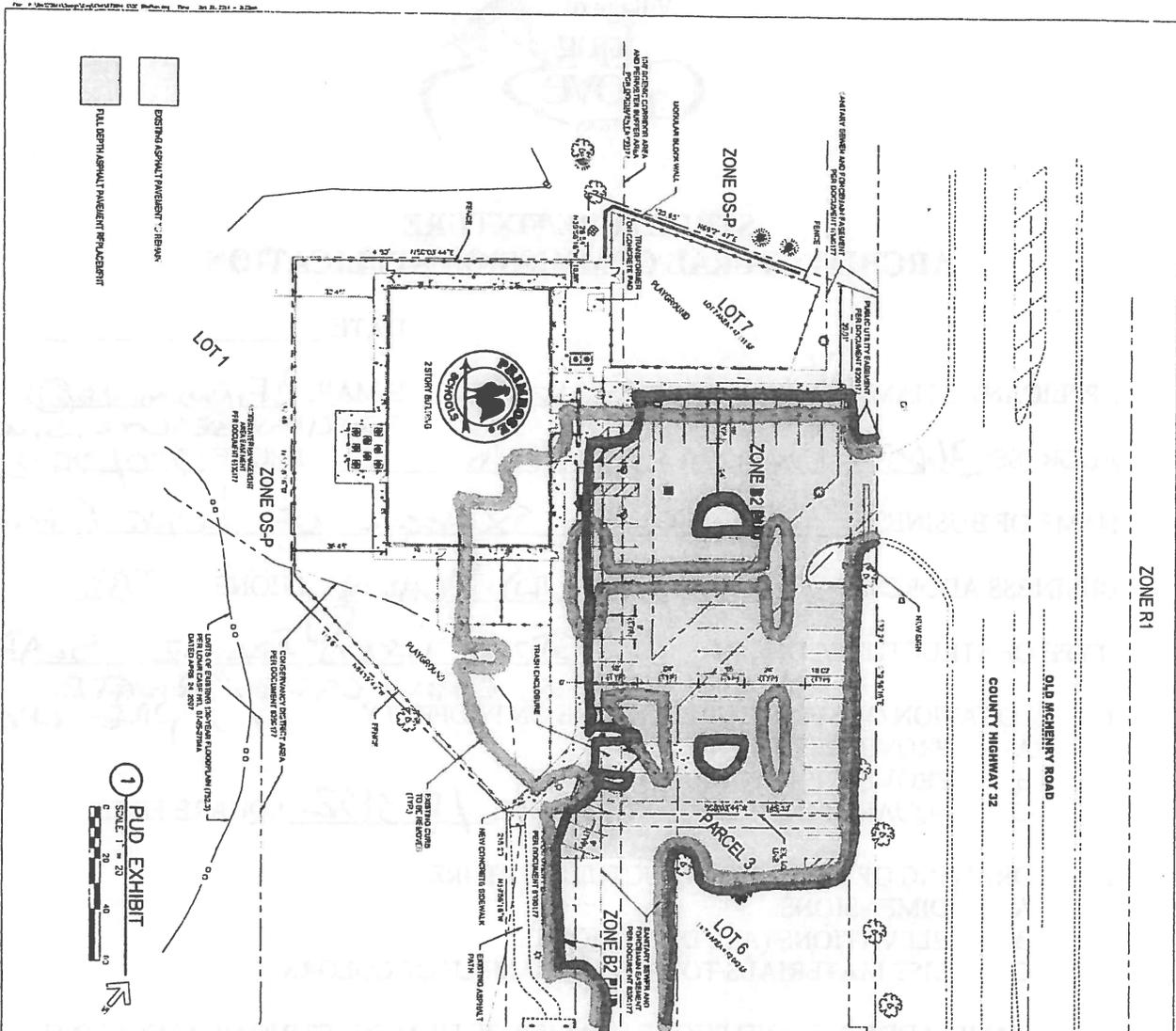
- 2 DRAWING OF PLANNED STRUCTURE/FIXTURE:
A. DIMENSIONS.
B. ELEVATIONS (ALL DIRECTIONS).
C. LIST MATERIALS TO BE USED/SAMPLE OF COLORS.

3. NAME, ADDRESS, AND PHONE NUMBER OF FIRM ERECTING OR MANAGING STRUCTURE: TBD PHONE: _____ E-MAIL _____

The property owner's signature is required below before any application may be processed. It is understood by the property owner(s) that he or she has read and understands the regulations governing the commercial property under this application in the Village of Long Grove, accepts and is liable for any corrections or modifications required to meet the standards of the Village, and further approves the work to be done on their property.

BUSINESS OWNER(S) [Signature] 11-24-14 JOHN FINNEMORE - PRIMROSE SCHOOLS
PROPERTY OWNER(S) LOT 6 LLC, LOT 7 LLC By The Cloverleaf Group Inc Senior Vice President/ITS Mgr 11-25-14

APPLICATION APPROVAL: _____ DATE: _____



- EXISTING ASPHALT PAVEMENT - 1" REPAIR
- FULL DEPTH ASPHALT PAVEMENT REPLACEMENT

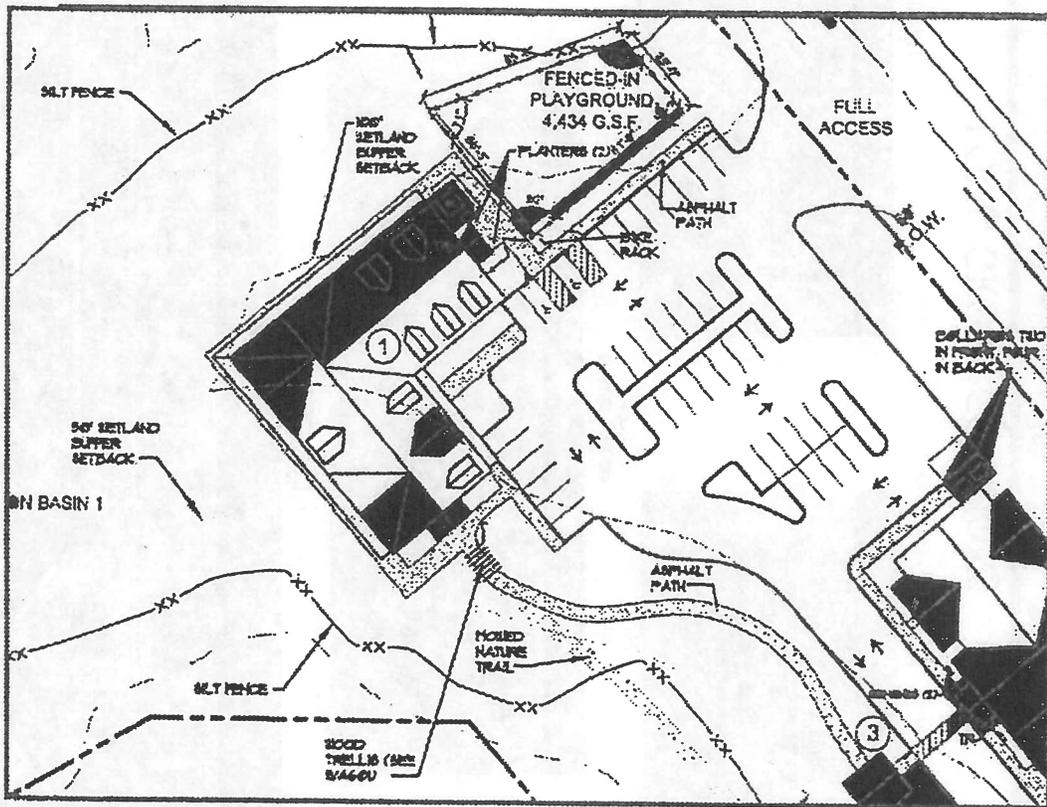
1 PUD EXHIBIT
 SCALE 1" = 20'
 0 20 40 80

Existing Pavement
Proposed Pavement

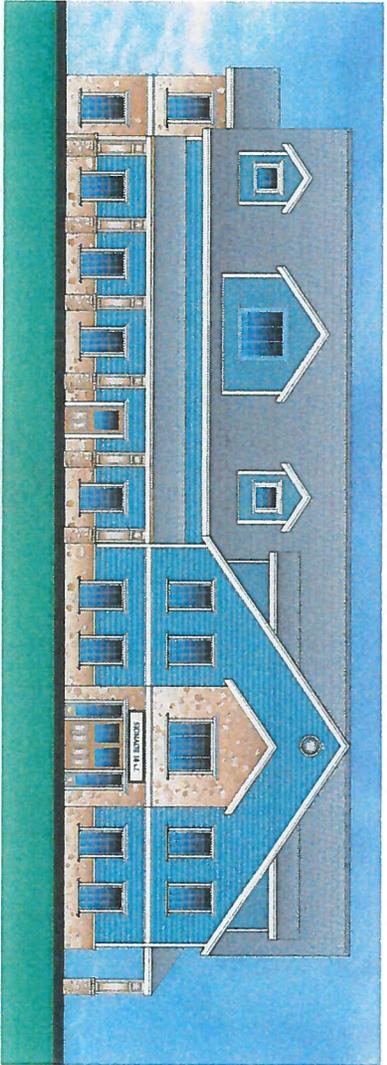
SITE USAGE AREA TABLE - LOT 7	
LOT 7 AREA	47,011 SF (1,070 AC 100%)
BUSINESS	0,715 SF 0.15% AC 14.8%
OFFICE SPACE	8,418 SF 0.18% AC 13.8%
OFFICE/STREET PARKING	15,904 SF 0.34% AC 26.2%
EAST/WEST ST- STREET PARKING	21,418 SF 0.46% AC 35.0%
SITE BUILDING USAGE AREA TABLE	
PROJECT BUILDING AREA (LITERATURE CENTER)	13,382 SF
OFFICE	8,418 SF
OFFICE/STREET PARKING	15,904 SF
EAST/WEST ST- STREET PARKING	21,418 SF
TOTAL PARKING - LOT 7	
EXISTING PARKING SPACES	42 + 9 ADA
PROPOSED PARKING SPACES	33 + 7 ADA

LOT 7 SURFACE AREAS	
PROJECT AREAS/LANDS	47,011 SF 1,070 AC
BUILDING AREA	8,418 SF 0.18% AC
PROPOSED PARKING AREA	15,904 SF 0.34% AC
EXISTING PARKING AREA	21,418 SF 0.46% AC
PROPOSED OFFICE/STREET PARKING AREA	15,904 SF 0.34% AC
PROPOSED OFFICE/STREET PARKING AREA	15,904 SF 0.34% AC
PROPOSED LANDSCAPING AREA	8,418 SF 0.18% AC

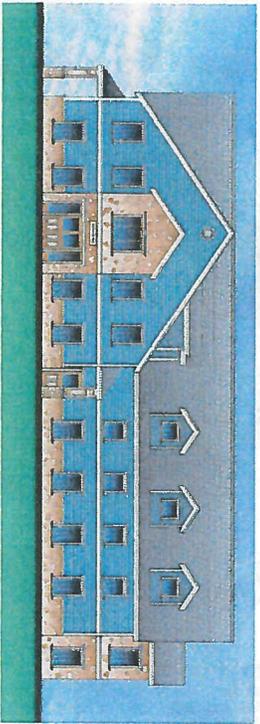
<p>3800 N. DOUGLASS HWY. ROAD COLUMBIAN, ALA. 36006</p> <p>PROJECT NAME TWO-STORY</p> <p>ISSUED FOR PUD EXHIBIT</p> <p>DATE 11/15/2011</p> <p>BY J. H. HARRIS</p> <p>SCALE 1" = 20'</p> <p>EXH-PUD</p>	<p>Robb & Harris CIVIL ENGINEERS 200 S. MCHENRY AVE. SUITE 1500 COLUMBIAN, ALA. 36006 (205) 874-6669 (205) 863-1472 FAX</p> <p>Design Firm Registration No. 124-05228</p>	<p>A New Building For: Primrose School Franchising Company 3680 Cedarcrest Road Auburn, Georgia 30209 COPYRIGHT © 2010 Primrose School Franchising Company</p> <p><small>I and my associates and I, as design professionals hereby are the authors of the design. I reserve the right to reproduce the design in whole or in part for any purpose without the written consent of the author. I warrant that the design is the original work of the author and that it does not infringe upon the intellectual property of any third party. Any use of the design for any purpose other than that intended by the author is prohibited. Any use of the design for any purpose other than that intended by the author is prohibited.</small></p>
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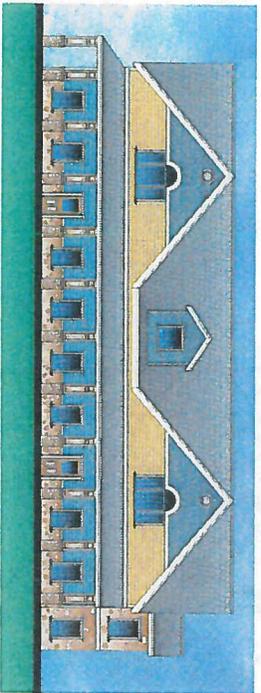
① ENLARGED SITE PLAN - BUILDING 1
SCALE: 1/8" = 1'-0"



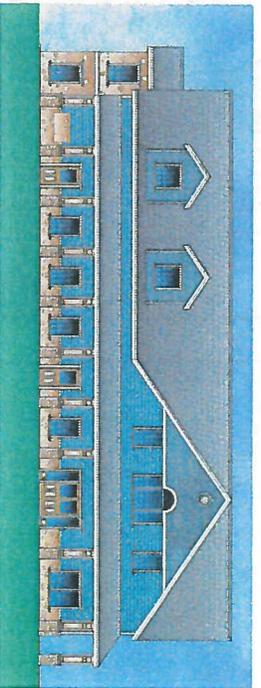
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

LONG GROVE COMMONS

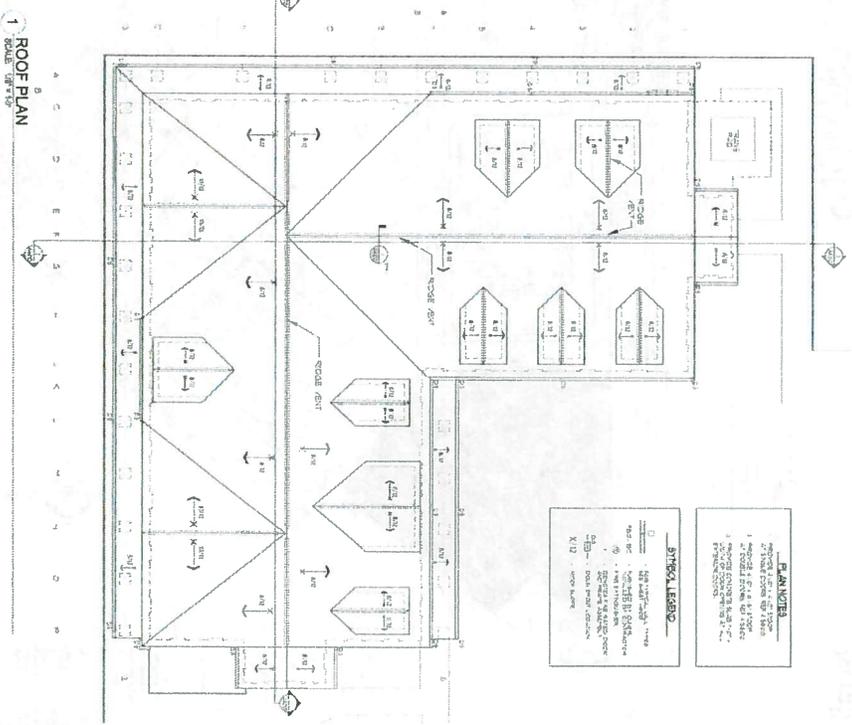
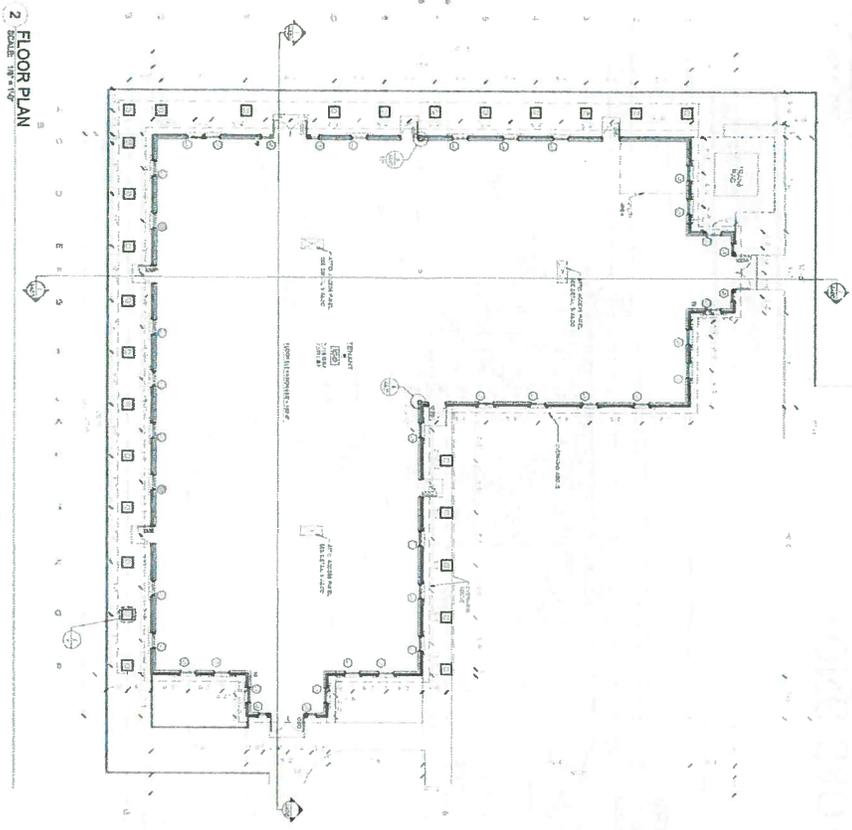
Building 1

Long Grove, IL

March 21, 2005

Christopher Kidd & Associates, LLC
 ARCHITECTS
 1000 N. WILSON AVENUE
 SUITE 100
 DEERFIELD, ILLINOIS 60015
 TEL: 847.939.1100
 FAX: 847.939.1101
 WWW.CHRISTOPHERKIDD.COM

 The Cloverleaf Group, Inc.



SEEN AND APPROVED
 DESIGN AND CONSTRUCTION
 CONTRACTORS AND GENERAL
 CONTRACTORS

FLOOR NOTES
 1. ALL FLOOR FINISHES TO BE AS SHOWN.
 2. ALL FLOOR FINISHES TO BE AS SHOWN.
 3. ALL FLOOR FINISHES TO BE AS SHOWN.
 4. ALL FLOOR FINISHES TO BE AS SHOWN.

SYMBOL LEGEND
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 [Symbol] - [Description]
 [Symbol] - [Description]
 [Symbol] - [Description]
 [Symbol] - [Description]



LONG GROVE COMMONS

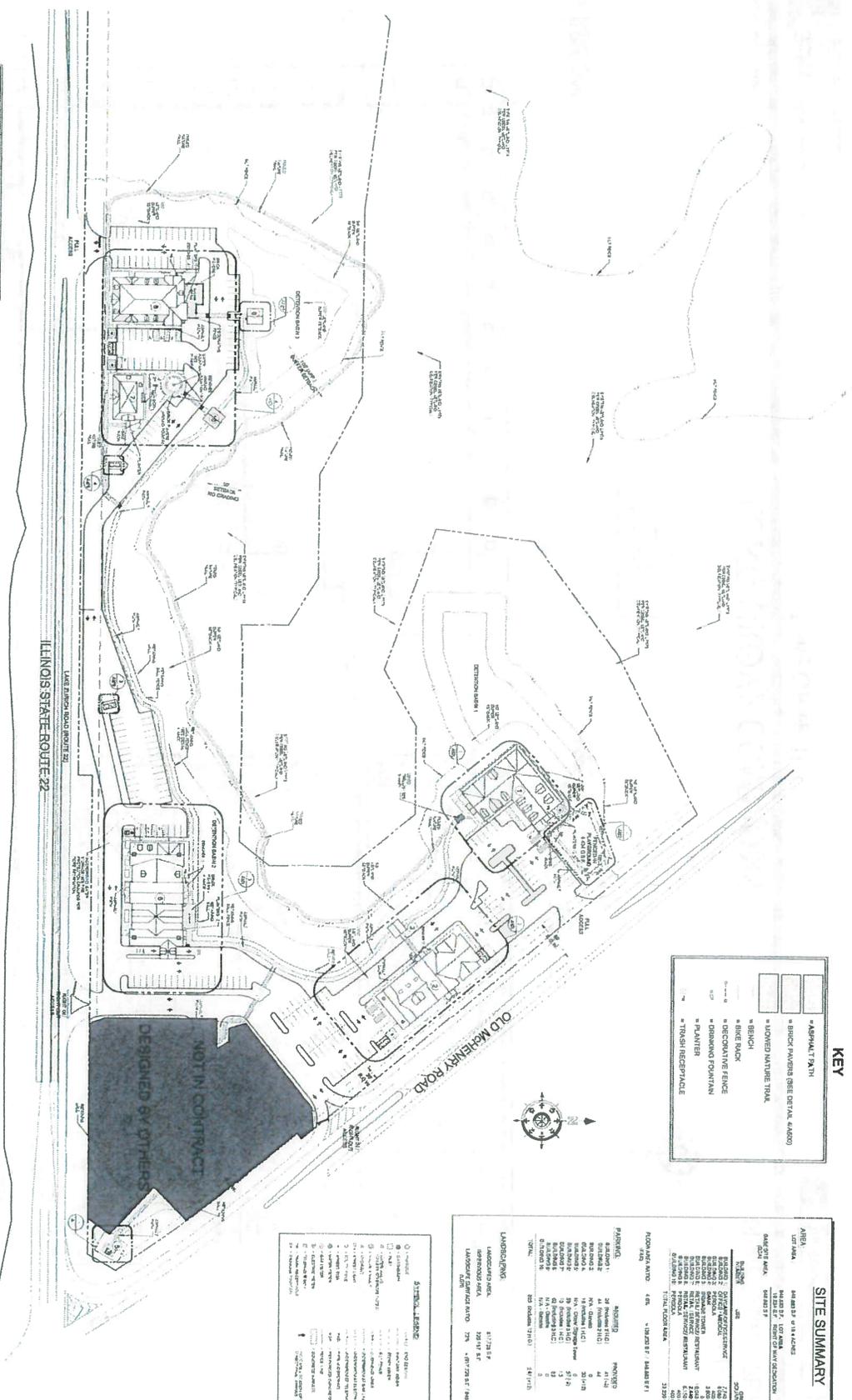
Long Grove, IL

Building 1
 Floor & Roof Plan

Scale: Not to Scale

Christopher Kidd & Associates, LLC
 Architects & Engineers
 1111 North Lincoln Street, Suite 100
 Chicago, IL 60610
 Phone: (773) 327-1111
 Fax: (773) 327-1112
 www.christopherkidd.com

The Cloverleaf Group, Inc.



GENERAL NOTES
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ILLINOIS CONSTRUCTION SPECIFICATIONS AND THE ILLINOIS DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.

KEY

- ASPHALT PAVEMENT
- BRICK PAVEMENT (SEE DETAIL 64000)
- LOWED NATURAL TRAIL
- BENCH
- BIKE RACK
- DECORATIVE FENCE
- DRINKING FOUNTAIN
- PLANTER
- TRASH RECEPTACLE



SITE SUMMARY

AREA	AREA BY SQUARE FEET	PERCENT OF TOTAL AREA
ASPHALT PAVEMENT	1,234,567	15.2%
BRICK PAVEMENT	45,678	0.6%
LOWED NATURAL TRAIL	12,345	0.2%
BENCH	1,234	0.02%
BIKE RACK	1,234	0.02%
DECORATIVE FENCE	1,234	0.02%
DRINKING FOUNTAIN	1,234	0.02%
PLANTER	1,234	0.02%
TRASH RECEPTACLE	1,234	0.02%
TOTAL	8,123,456	100%

LANDSCAPING

LANDSCAPING AREA	AREA BY SQUARE FEET	PERCENT OF TOTAL AREA
LANDSCAPING AREA 1	123,456	1.5%
LANDSCAPING AREA 2	234,567	3.0%
LANDSCAPING AREA 3	345,678	4.3%
LANDSCAPING AREA 4	456,789	5.7%
LANDSCAPING AREA 5	567,890	7.1%
LANDSCAPING AREA 6	678,901	8.4%
LANDSCAPING AREA 7	789,012	9.8%
LANDSCAPING AREA 8	890,123	11.0%
LANDSCAPING AREA 9	901,234	11.2%
LANDSCAPING AREA 10	1,012,345	12.5%
TOTAL	6,789,012	84%

LONG GROVE COMMONS

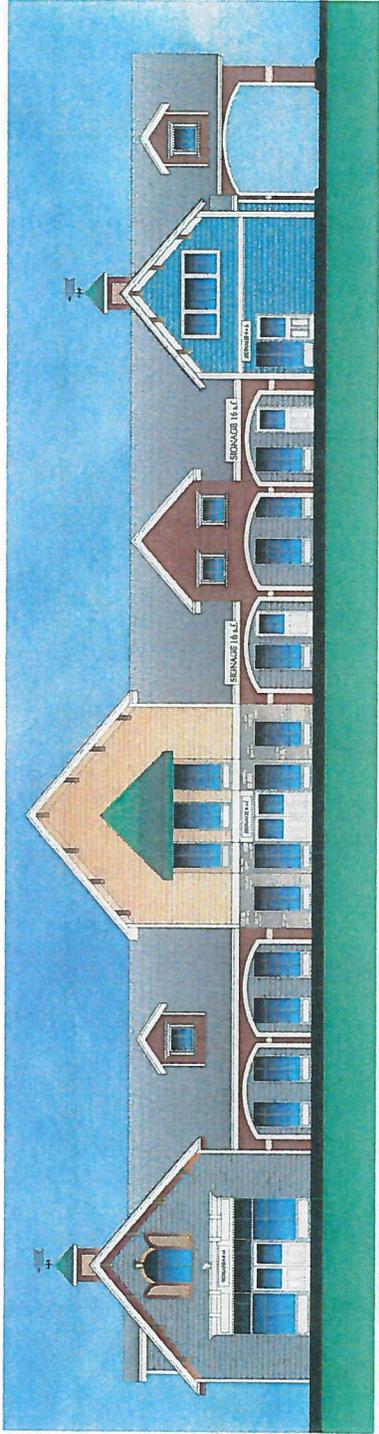
Long Grove, IL

Overall Site Plan

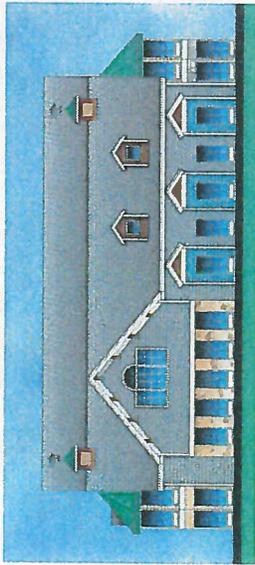
Sale: Not to Scale

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 www.christopherkidd.com

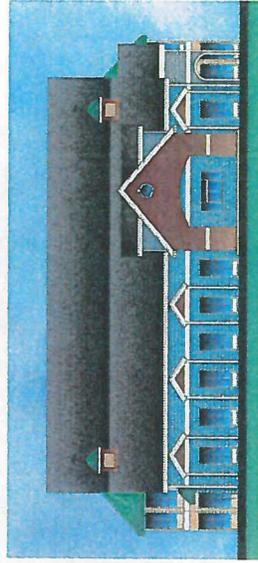
The Cloverleaf Group, Inc.



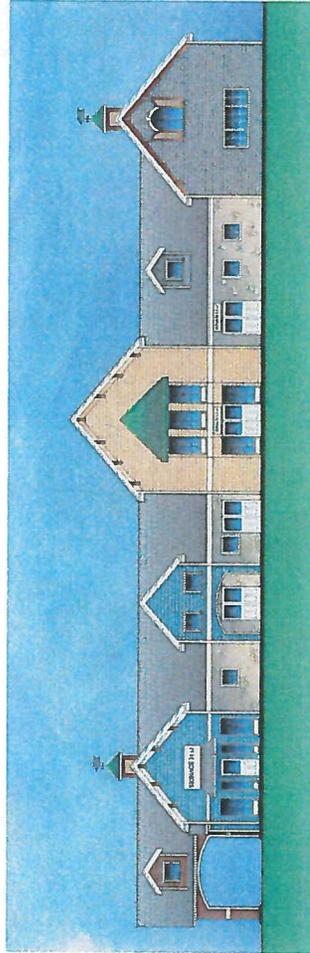
SOUTH ELEVATION
SCALE: 3/8" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

March 21, 2005

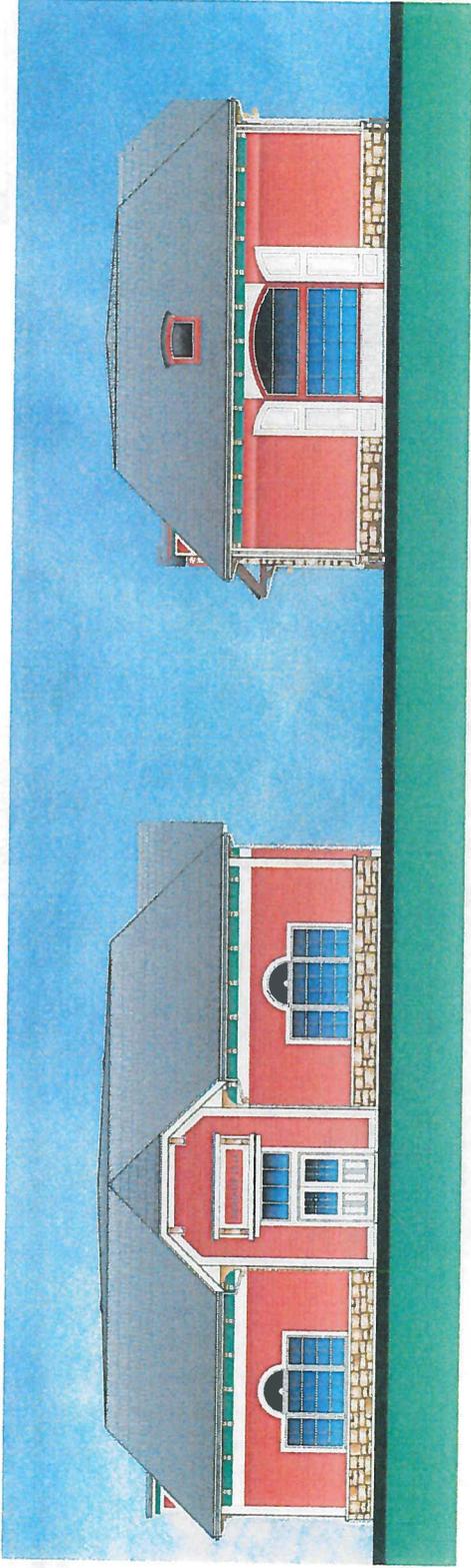
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Architects & Engineers
1000 North Lincoln Street, Suite 200
Chicago, Illinois 60610
Phone: 312.329.1000 Fax: 312.329.1001
www.christopherkidd.com

LONG GROVE COMMONS

Long Grove, IL

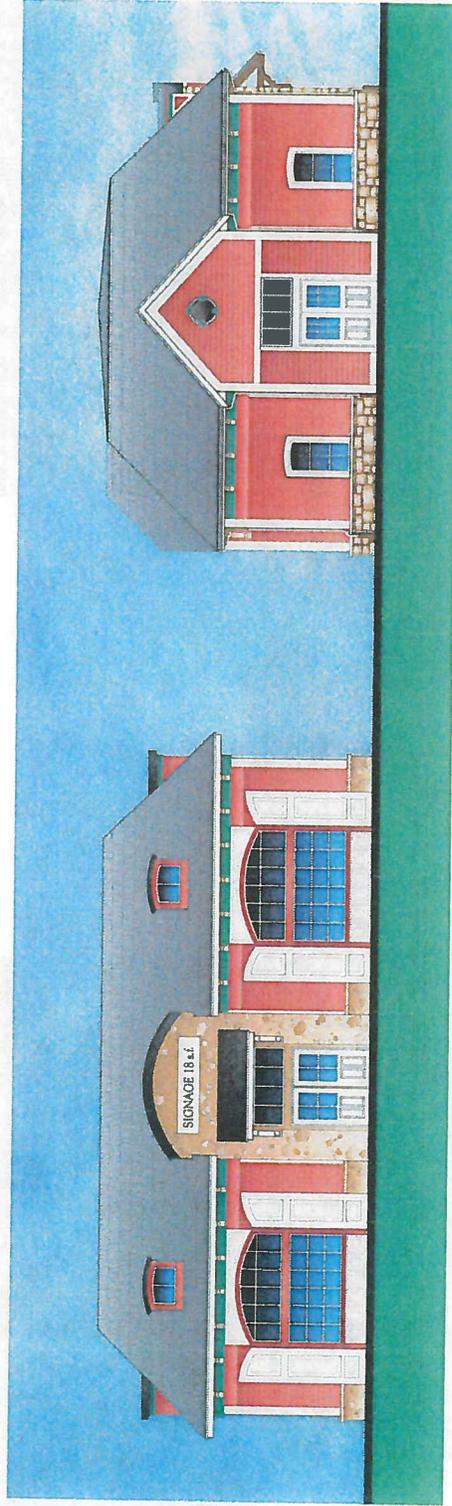
Building 6





SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

EAST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

WEST ELEVATION
SCALE: 1/4" = 1'-0"

LONG GROVE COMMONS

Exterior Elevations - Building 7

Scale: Not to Scale

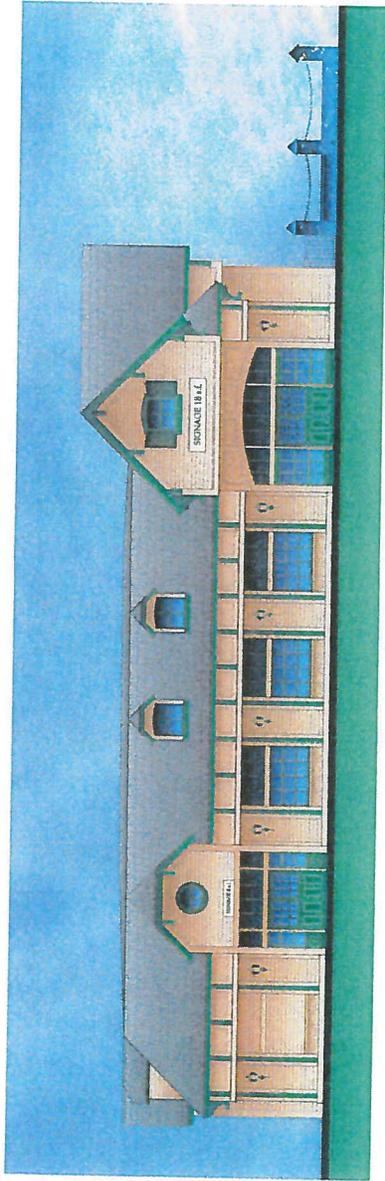
Christopher Kidd & Associates, L.L.C.
ARCHITECTS / INTERIORS

100 N. 10th Ave. #202
Chicago, IL 60610
Phone: 773.226.8888 Fax: 773.226.8889
www.christopherkidd.com

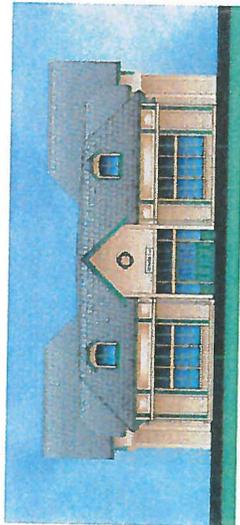
Long Grove, IL



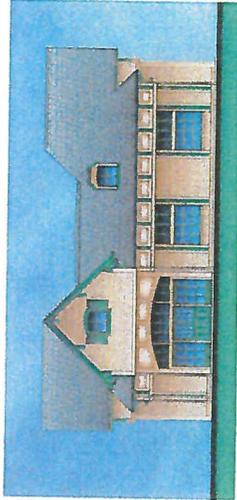
The Cloverleaf Group, Inc.



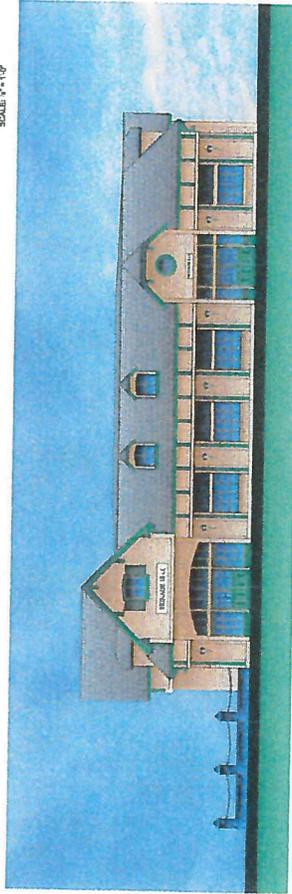
EAST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

LONG GROVE COMMONS

Exterior Elevations - Building 8

Long Grove, IL

Scale: Not to Scale

Christopher Kidd & Associates, L.L.C.
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 Fax: 630.335.1235
 Website: www.christopherkidd.com

 The Cloverleaf Group, Inc.

