

Item #1A

**Report Of AC Meeting - March 17, 2014:
Landscape Lighting at 6217 Pine Cone Court**



AGENDA
ARCHITECTURAL COMMISSION
REGULAR MEETING
Monday, March 17, 2014 at 7:00 P.M.

CALL TO ORDER:

ACTION ITEMS:

- 1) Approval of the February 10, 2014 Draft Regular Meeting Minutes.
- 2) Consideration of a request for landscape lighting at 6217 Pine Cone Court and within the R-2 PUD submitted by Apple Landscaping on behalf of Charlie & Angela Tobler .
- 3) Consideration of elevations for a residence at 1147 Steepleview Drive (Lot 6 ; Steepleview Estates PUD) submitted by KCD Construction.

OTHER BUSINESS: NONE

ADJOURNMENT: Next Scheduled Meeting: April 21, 2014 @ 7:00 PM

The Village of Long Grove is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to phone David Lothspeich, Long Grove Village Manager at 847-634-9440 or TDD 847-634-9650 promptly to allow the Village of Long Grove to make reasonable accommodations for those persons.



ITEM #2: For the ARCHITECTURAL COMMISSION on MONDAY, March 17th @ 7:00 P.M.

REQUEST: Consideration of a request for landscape lighting for property located at 6217 Pine Cone Court within the Highland Pines Subdivision submitted by Apple Landscaping.

Proposed Project:

The request is being made by the property owner to allow landscape lighting at the petitioners' residence. The property is located within the Highland Pines PUD\Subdivision and is situated at the southeast corner of Pine Cone Court and Pine Tree Drive.

Thirty one (31) low voltage (specs attached) lights are proposed to be placed in the landscaping and around a proposed pool on the side of the residence. A proposed this is a LED illumination system. Thirteen (13) path lights will be mounted around the pool deck, patio and walkways to provide safer access around the pool area. These will contain a 3 watt LED light source on a 12' light stem with a Model AL 100 Area light hat. Eight (8) step lights (5 watt output) are also proposed to be installed in stoops leading into the residence and steps to the patio and pool deck area . Ten (10) 4 or 5 watt spot lights (Model BL 100) and approximately 9" tall will be utilized to uplight trees and landscaping around the pool and patio. These lights will be disbursed within the landscaping. A site plan is attached for the review of the AC.

ZONING REGULATIONS:

Lighting within the Residential Districts is identified as "Class 3" lighting and as such must meet "tests" identified below and bolded for this lighting class. As proposed this request is probably best identified as "Landscape Lighting" defined as follows;

"LANDSCAPE LIGHTING: Lighting which is located on the grounds and is primarily designed to illuminate or silhouette vegetation, a lawn or garden. This type of lighting may incidentally illuminate a portion of a building."

5-9-9 EXTERIOR LIGHTING

- (A) **Purpose.** The village comprehensive plan refers to certain characteristics of the village which are cherished by its residents.

The village of Long Grove is unique. . . Long Grove has managed to retain much of the pristine rural charm,. This has not occurred by coincidence but through thoughtful design.

One of the primary thrusts of the planning efforts of the village has been to achieve a consistent and pleasing quality of life.

Excessive amounts of artificial light intruding upon adjacent properties and visible to the public constitutes light pollution which tends to destroy the natural rural charm the village has strived to perpetuate. Light pollution is aesthetically destructive. It is inconsistent with the rural night and diminishes the economic value of properties which are subjected to light pollution. Our village residents moved here and purchased property here to enjoy the rural charm of the village, not to be subjected to needless and aesthetically harmful light pollution. The purpose of this chapter is to eliminate or reduce as much as possible light pollution.

It is the intent of this section 5-9-9 to provide standards for controlled and moderate forms of illumination systems that promote safety and are consistent with the planning efforts of the village.

(B) Classes of Lighting Areas.

1. Class 1. Class 1 consists of the B1 zoning district.
2. Class 2. Class 2 consists of all other nonresidential zoned areas not included in Class 1. This classification also includes all property utilized for agricultural, educational or religious purposes. This classification does not include public or private roads, but does include driveways to areas that are otherwise within this classification.
3. Class 3. **Class 3 consists of residential areas of the village, including R1, R2, R3 and all residential portions of properties in a planned unit development.**
4. Class 4. Class 4 consists of all public and private roads, excluding driveways.

(C) General Regulations. The regulations and standards set forth in Table 5-14-A below shall regulate and govern the use of, modification of, construction of, installation of, or the erection of any illumination system for the purpose of lighting external areas, including, but not limited to, signs, parking areas, buildings, landscaping, walkways, porches, driveways, and public or private roads. Each illumination system must meet tests 1 through 6, inclusive of Table 5-14-A, before a permit can issue. Table 5-14-A indicates non-permitted uses (NP symbol), permitted uses (P symbol), or uses subject to review and approval of the architectural board (AB symbol).

TABLE 5-14-A LIGHTING SYSTEM TESTS

Each lighting system must be permitted or have received approval in each test group (1-6) before a permit will be issued.

SYMBOLS

P = Permitted NP = Not Permitted AB = Architectural Board Approval Required

TEST 1

<u>Usages Permitted</u>	<u>Class 1</u>	<u>Class 2</u>	<u>Class 3</u>	<u>Class 4</u>
Commercial building lighting	AB	AB	AB	--
Landscape lighting	AB	AB	AB	--
Private sign illumination	NP	AB	NP	--

Roadsign lighting	AB	AB	NP	--
Municipal parking lot	P	--	--	--
Commercial parking lot	AB	AB	--	--
Residential yard/grounds lighting	AB	--	P	--
Driveway lighting	AB	AB	P	--
Holiday lighting	P	P	P	--
Intersection or street lighting	AB	AB	AB	AB
Exterior lighting of dwelling	AB	--	P	--
Security lighting	AB	AB	AB	--

TEST 2

Light Sources Permitted	Class 1	Class 2	Class 3	Class 4
Natural gas	P	P	P	P
Incandescent (white or clear)	P	P	P	P
Halogen	AB	AB	AB	AB
Mercury vapor	NP	P	NP	P
Sodium vapor	NP	NP	NP	NP
Incandescent (multi-colored Christmas or temporary use)	P	P	P	--
Incandescent (malibu type)	NP	NP	P	--
Other	AB	AB	AB	AB

TEST 3

Fixture Styles Permitted	Class 1	Class 2	Class 3	Class 4
Fixtures depicting 19th century styles	P	P	P	P
Other	NP	AB	P	P

TEST 4

Fixture Height	Class 1	Class 2	Class 3	Class 4
Fixture 15 feet or less	P	P	P	P
Fixture higher than 15 feet	AB	AB	NP	P

TEST 5

Brightness	Class 1	Class 2	Class 3	Class 4
Source watts over 200	NP	NP	NP	AB
Source watts under 200	P	P	P	P

TEST 6

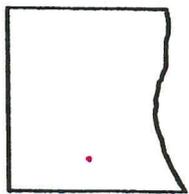
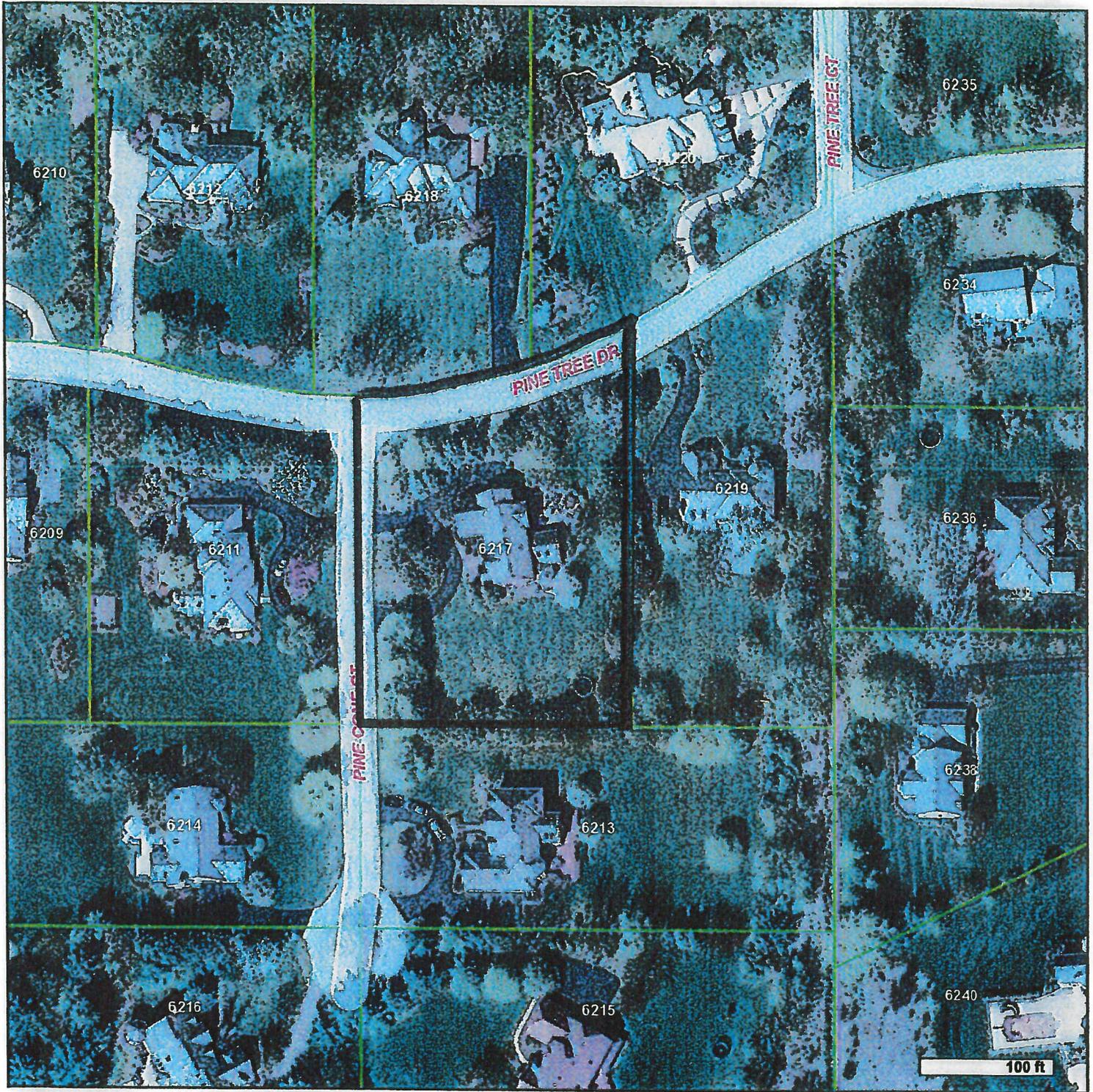
Illumination Of Adjacent Lot	Class 1	Class 2	Class 3	Class 4
External lights which glare into traffic and/or adjacent neighboring properties	NP	NP	NP	--
Reflected light from a dwelling, commercial structure, or sign which is greater than 2 foot-lamberts when measured at the structure. Also applies to structure inadvertently lighted	NP	NP	NP	--
Direct light greater than 2 foot-lamberts from any source reflected off a white surface which is 12 feet from source	NP	NP	NP	

ARCHITECTURAL COMMISSION DECISION:

The AC should review the request for lighting against the "Test Criteria" listed above. A light source LED has been identified and should be approved as an "Other" light source by the AC. Aside from this the other lighting criteria has been met. "Spillage" of light on adjacent properties should not be an issue as lighting will be low to the ground and near the principal structure or disbursed within the landscaping. Fixtures appear "dark sky" compliant based on photo metrics and specs submitted with the fixtures. A landscape barrier exists between the proposed lighting and nearest structure to the east.

Any variations considered to avoid an undue hardship upon the petitioner/owner, should indicate that the illumination system, with the variance, shall not have any adverse effect upon adjacent properties, as well as the illumination system with the variation shall not result in light pollution subject to public view.

Lake County, Illinois



LakeCounty
Geographic Information System

Lake County Department
of Information Technology
18 N County St
Waukegan IL 60085
(847) 377-2373

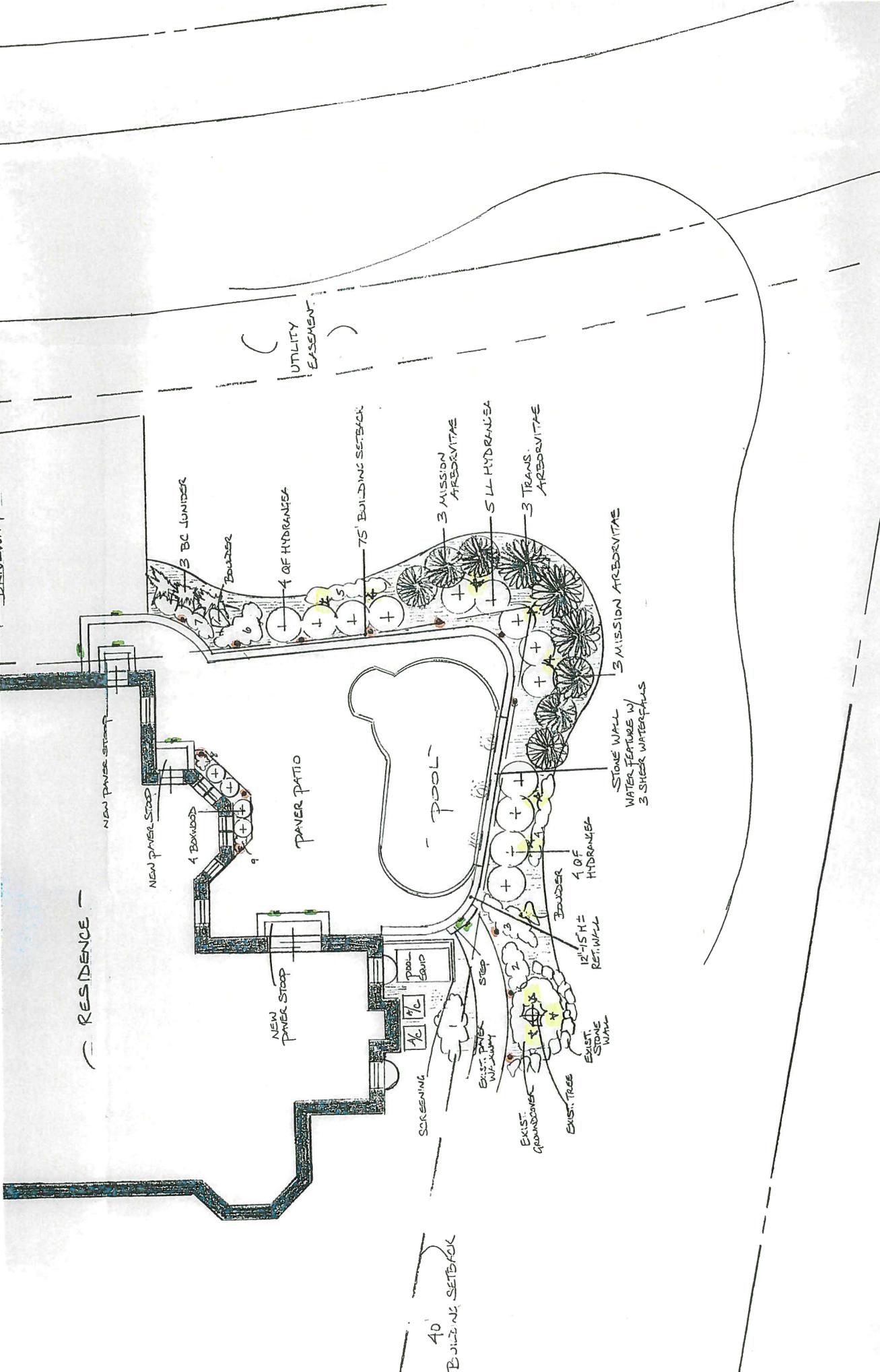


-  Lake County Border
-  Streams
-  Tax Parcels
-  Trails

Map Printed on 03/12/2014

Disclaimer

The selected soil feature layer may not occur anywhere in the current map extent. A Registered Land Surveyor should be consulted to determine the precise location of property boundaries on the ground. This map does not constitute a regulatory determination and is not a base for engineering design. This map is intended to be viewed and printed in color.



UTILITY EASEMENT

3 BC JUNIDER

BOULDER

4 OF HYDRANGEA

75' BUILDING SETBACK

3 MISSION AEBESVITAE

5 LL HYDRANGEA

3 TRANS. AEBESVITAE

3 MISSION AEBESVITAE

STONE WALL WATER FEATURES W/ 3 SHEER WATERCASCUS

1 OF HYDRANGEA

BOULDER

12" 5'H RET. WALL

EXIST. STONE WALL

EXIST. TREE

EXIST. GROUNDCOVER

EXIST. PAPER WINDMILL

STEP

SCREENING

POOL SAND

NEW PAVEMENT STOOP

NEW PAVEMENT STOOP

PAVER PATIO

POOL

NEW PAVEMENT STOOP

NEW PAVEMENT STOOP

NEW PAVEMENT STOOP

NEW PAVEMENT

NEW PAVEMENT

RESIDENCE

40' BUILDING SETBACK

LOW-VOLTAGE LANDSCAPE LIGHTING SCHEDULE

*NOTED ON LANDSCAPE PLAN WITH THE FOLLOWING
SYMBOLS:*

 = PATH LIGHT

 = SPOT LIGHT

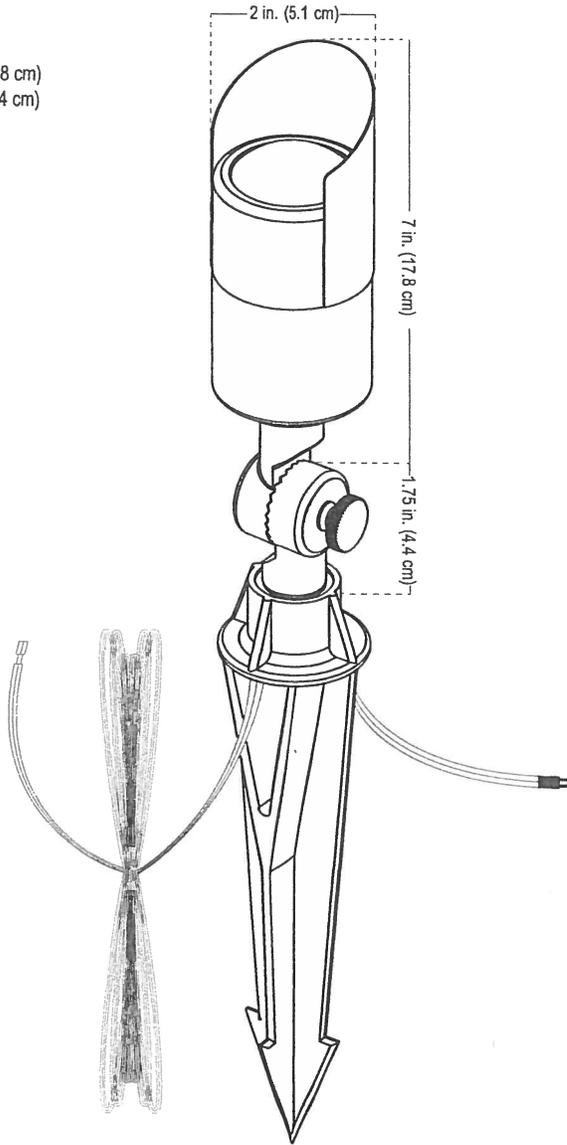
 = STEP LIGHT

ALLIANCE

Specification Sheet

Model: BL100 (MR16 Bullet Light)

Fixture Length: 7 in. (17.8 cm)
 Base Height: 1.75 in. (4.4 cm)
 Width: 2 in. (5.1 cm)



Notes:

SPOT LIGHT

Project:
Type:

Specifications and Features:

Body: Solid brass with an aged brass finish

Knuckle: Solid brass with dial adjustment for easy adjustments

Shroud: Brass with a clear glass convex lens and double o-ring gasket

Socket: Spring loaded ceramic bi-pin socket with dual contact and lamp clips

Wire: Industry First, double wire lead pre-connected to the fixture, 16 awg (UL listed), brown
 -25 foot wire lead, pre-stripped for easy wire connection
 -18 inch wire lead, LED connection ready

Stake: Plastic ground stake, attached to the fixture (8.5 in; 21.6 cm length)

Warranty: Lifetime warranty on fixture housing

Certification: Complies with the requirements of UL-1838 and CAN/CSA-C22.2 No. 250.7. Identified with the ETL and cETL Listed Mark.



Lamp Options

Model #	Base Type	Angle	Wattage	Lumen Output
LMR16-LED-4W-NS	MR16	15°	4w	250lm
LMR16-LED-4W-F	MR16	45°	4w	250lm
LMR16-LED-4W-WF	MR16	60°	4w	250lm
LMR16-LED-5W-NS	MR16	15°	5w	310lm
LMR16-LED-5W-F	MR16	45°	5w	310lm
LMR16-LED-5W-WF	MR16	60°	5w	310lm
LMR16-35-36 (Halogen)	MR16	45°	35w	310lm

LED Ordering Guide: Model-Lamp Wattage-Lamp Angle
 Example: BL100-LED-5W-F

Accessories Available:

Accessories Available:	MR16 Accessories:
Mounting Accessories:	Linear Lens
RISER6 - 6" brass riser, aged brass finish	Frosted Lens
RISER12 - 12" brass riser, aged brass finish	Spread Lens
RISER18 - 18" brass riser, aged brass finish	Blue Lens
RISERADJ - Adjustable plastic riser, aged brass cap	Hex Louver
RMB - Round Mounting Base	
GUTTERMOUNT	

Model IL4.xxx.500

STEP LIGHT



IL4.400.500 Mud Finish Shown

construction

Model IL4.xxx.500 4" width x 1/2" height x 7/8" depth

- Faceplates heavy duty and field replaceable
 - Aluminum .090 thick alloy 5052T
 - Solid Copper or Brass .090 thick
 - Stainless Steel 18g alloy 304
- 6-32 slotted brass or stainless steel screws
- Self leveling insert is Heavy 18 gauge 304 Stainless Steel
- Holes threaded to insert plate

Tested and listed by



electrical

Model IL4.xxx.500

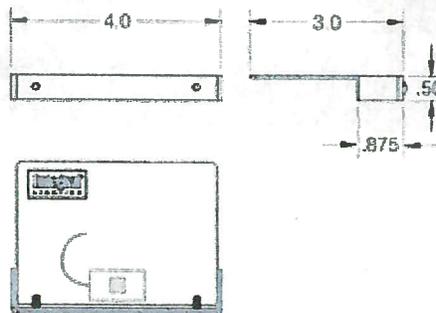
Single array – 16 chips

5 watt output

1.2 watt energy consumption

- LED available in 2700K, 3000K, or 4200K
- LED 70 CRI / 60LM/w
- Multi Circuit Parallel LED structure
- Field replaceable LED module
- Nylon Lens with integrated heat sink
- Circuitry encapsulated for moisture resistance
- 72" long 18/2 leads for connection
- Voltage requirement min 8.0v AC / max 12.5v AC
- Estimated life of 40,000 hours at 11.5v AC input
- Magnetic and electronic transformer compatible

dimensions

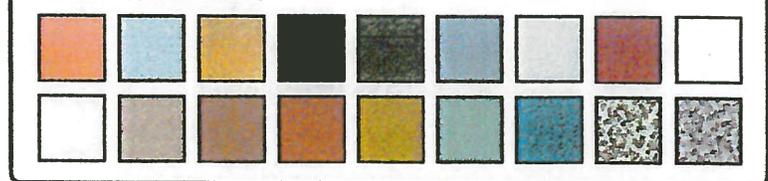


Available LED Options
 2700K incandescent look and feel
 3000K our original white
 4200K cool white



MANUFACTURED IN U.S.A.

18 finishes



51 North Elm Street, Wernersville, PA 19565 Phone: 800.861.1364 Fax: 800.388.2898 www.integral-lighting.com

ALLIANCE

Specification Sheet

PATH LIGHT

Project:
Type:

Model: AL100 (Area Light Hat)

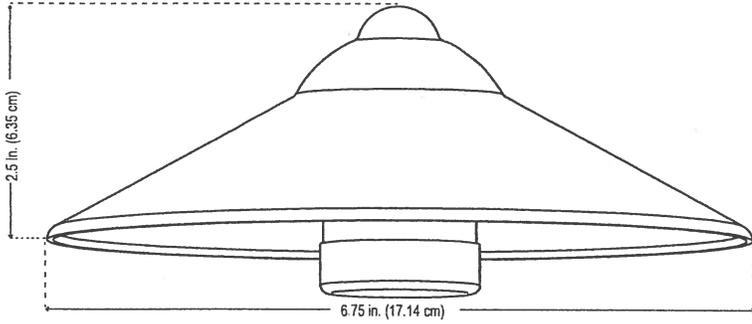
Diameter: 6.75 in. (17.14 cm)
 Height: 2.5 in. (6.35 cm)
 Lens Height: 2 in. (5.08 cm)
 Lens Diameter: 1.5 in. (3.81 cm)

Specifications and Features:

Body: Brass area light hat, aged brass finish

Lens: Polycarbonate frosted lens with rubber gaskets

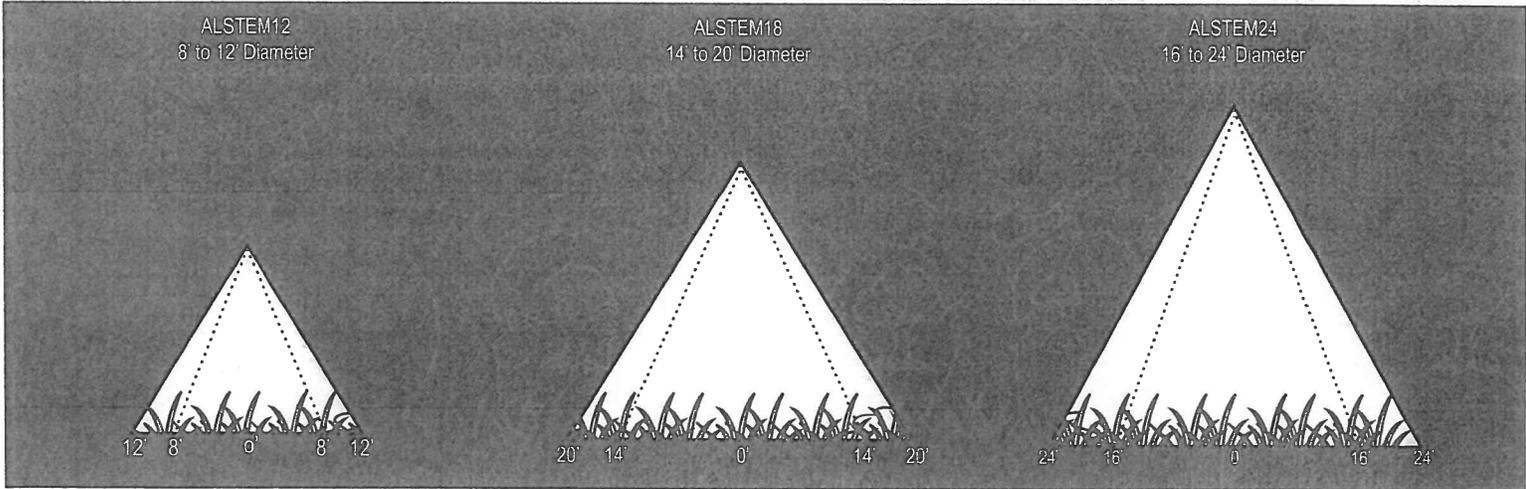
Warranty: Lifetime warranty



Area Light Stems (Sold Separately):

Model #:	Height	Lamp Base	Lamp Options
ALSTEM12	12"	Bipin/G4	<ul style="list-style-type: none"> • LBIPIN-LED-3W 3w - 150 lumen LED • LXELOGEN-20W 20w xelogen
ALSTEM18	18"		
ALSTEM24	24"		
ALSTEM60	60"		
ALSTEMADJ	18-29"		

Photometrics:



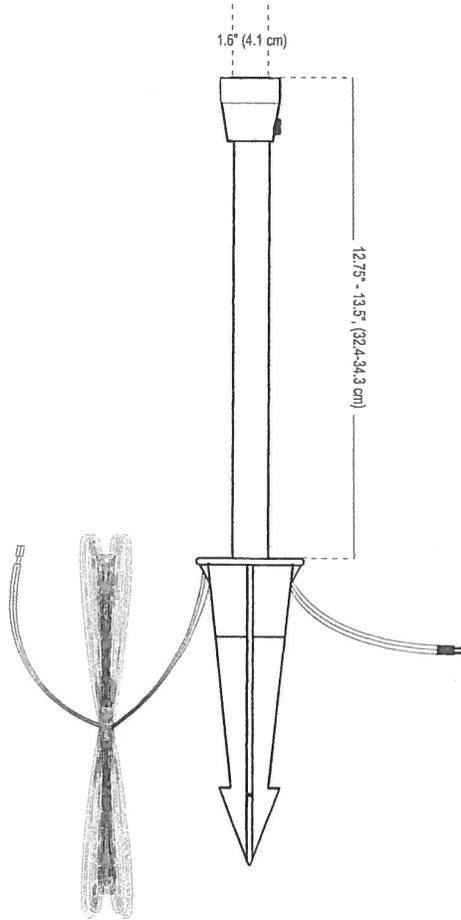
Notes:

ALLIANCE

Specification Sheet

Model: ALSTEM12 (12" Area Light Stem)

Fixture Height: 12.75" - 13.5", (32.4-34.3 cm)
 Stem Diameter: 1.6" (4.1 cm)



Notes:

PATH LIGHT

Project:	PATH LIGHT
Type:	

Specifications and Features:

- Body:** Brass stem, aged brass finish
- Collar:** Brass, adjustable with thumb screw
- Socket:** Spring loaded ceramic bi-pin socket with dual contact
- Wire:** Industry First, double wire lead pre-connected to the fixture, 16 awg (UL listed), brown
 - 25 foot wire lead, pre-stripped for easy wire connection
 - 18 inch wire lead, LED connection ready
- Stake:** Plastic ground stake, attached to the fixture (8.5 in; 21.6 cm length)
- Warranty:** Lifetime warranty on fixture housing
- Certification:** Complies with the requirements of UL-1838 and CAN/CSA-C22.2 No. 250.7. Identified with the ETL and cETL Listed Mark.



Lamp Options

Model #	Base Type	Wattage	Lumen Output
LBIPIN-LED-3W	BIPIN/G4	3w	150lm
LXELOGEN-20 (Halogen)	BIPIN/G4	20w	150lm

LED Ordering Guide: Model-LED

Example: ALSTEM12-LED

Accessories Available:

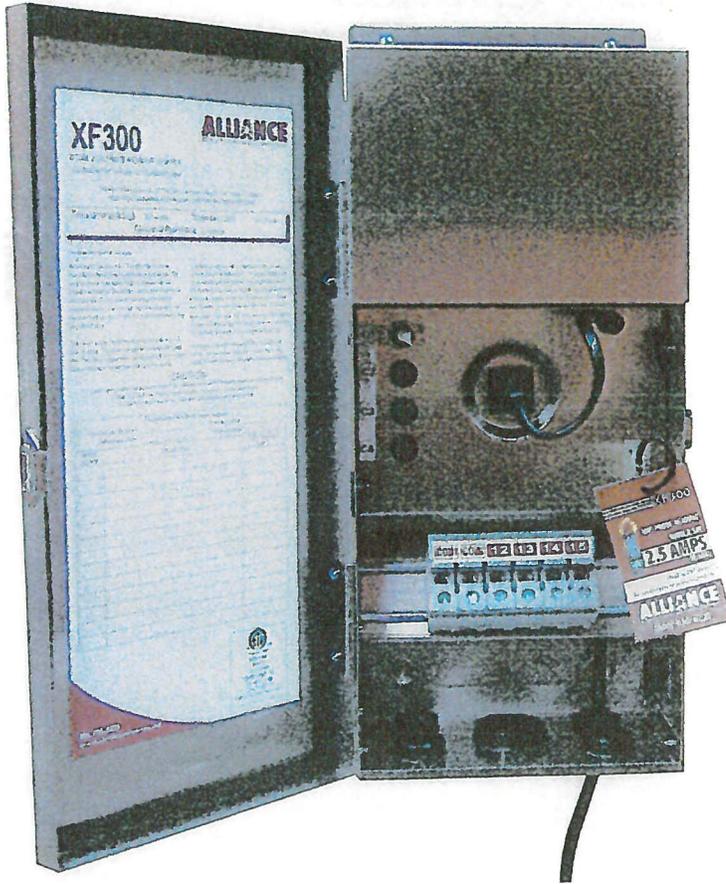
Mounting Accessories:
RMB - Round Mounting Base

ALLIANCE

Specification Sheet

Model: XF300 (300 Watt Transformer)

Description: Low voltage power supply suitable for indoor or outdoor use



Notes:

Project:

Type:

Specifications:

Max Amperage (Load):	2.5 amps
Max Input (Primary Voltage):	120 volts
Secondary Voltage:	12 volts*
Available Voltage Taps:	12,13,14,15
Exterior Construction:	Stainless Steel
Warranty:	Lifetime Warranty
Certification:	UL Listed to U.S. and Canadian safety standards for low voltage landscape lighting (UL 2108)



*You may use any combination of output terminal lugs (12-15 volt). However you may not exceed 300 watts on any single terminal lug.

Features:

- Fully potted, insulated, single core transformer
- Inline surge protection
- Easy on/off, secondary breaker switches on each common tap
- Stainless steel cabinet with removable and lockable latched door
- Multiple voltage taps ranging from 12 to 15 volts
- Two common lug terminals
- Tilted lug bar where the secondary lugs will be easier to access and install. The adjusted lug bar eliminates the blind spots that occur when trying to install low voltage wire to the terminal lug.
- Relay installed to bring the amperage delivered to the timer and photocells down to a lower level thus improving the longevity of life to those accessories and eliminating failures.
- Amp loop that provides contractors with one easy point of reference to check the primary amperage on the transformer
- Snap-In photocell ready receptacles
- Removable bottom panel allowing for easy access to lug terminal, more room for wiring, and the ability to attach conduits through the five knockouts.

Accessories Available:

Transformer Accessories:

TIMER - Mechanical Timer

DGTimer - Digital Timer

PC - Photocell

Item #1B:
Report Of AC Meeting - March 17, 2014:
New Residence Elevations - 1147 Steepleview Drive



Item #3 : Consideration of elevations for a residence at 1147 Steeple View Drive (Lot 6; Steeple View Estates PUD) submitted by KCD Construction.

Proposal:

Per the final approval ordinance for the Steeple View Estates PUD granted in 2008, all elevations of any residence to be constructed in the development are to be reviewed by the AC. Attached are B&W elevations for the proposed residence on the aforementioned lot within the Steeple View Estates Development.

Elevations for the structure, including materials (samples available at meeting time), are attached as well as a copy of a portion of the final plat which provides the location of the property in question within the subdivision.

This is the first residence to be built within the development.

Architectural Commission Decision:

The approval ordinance for the Steeple View Estates PUD states the following;

“Design Standards. Elevations and detailed plans and renderings of the building to be constructed on the property must be submitted for review and approval by the Architectural Commission. The review of elevations and detailed plans and renderings shall include without limitation details regarding the exterior architectural styles, quality of design and its relationship to the overall development, predominant materials, exterior amenities, and interior amenities.”

Per the zoning code the following should be considered by the AC in the review of the proposed structures.

5-3-11 ANTI-MONOTONY REGULATIONS

- (A) Purpose. The intent of this section 5-3-11 is to ensure sufficient variety in detached single family dwellings to prevent monotony, and to foster the quality and character of residential construction traditionally found in the village. At the same time, these regulations are designed to provide freedom for homeowners to design detached single family dwellings that meet their needs and choices and to encourage creativity.

- (B) Mandatory Criteria. The following criteria shall apply to all new detached single family dwelling construction:
1. Similarity Regulated. No detached single family dwelling may be similar to any other detached single family dwelling along a street or cul-de-sac, or within one thousand five hundred feet (1,500') (as measured from lot line to lot line), whichever is more restrictive.
 2. Window, Door, and Trim. Each detached single family dwelling shall have similar style and quality window, door, trim, and decorative moldings on all exterior building elevations of the detached single family dwelling.
 3. Building Materials. Identical or substantially similar siding materials or veneers shall be used on all exterior sides of the detached single family dwelling. This does not prohibit the use of veneers or changes of materials on a facade where, for example, materials might change at the second floor or at a windowsill height. Where a wing or projection of the building is offset, the wing or projection may use different materials to give it emphasis, provided the materials are applied to the entire wing or projection.
 4. Roof Overhangs. An important element of design is the shadow lines that are created by roofs and help articulate the building. Any detached single family dwelling having a pitched roof shall have eaves that extend a sufficient distance to create shadow lines. A variety of overhangs is desired. The following standards shall apply:
 - (a) Variety. Within a subdivision or planned unit development, the detached single family dwellings shall have a variety of different roof overhang profiles.
 - (b) Extension. The overhang of a detached single family dwelling, not including gutters, shall extend at least eight inches (8") beyond the plane of the wall.
 - (c) Exception. The minimum overhang shall not apply to any individual detached single family dwelling built in an historical style where overhangs were not part of the style (Cape Cod, for example) or in a unique individual design. The architectural board shall review the architectural plans for such dwellings.
 5. Garage Placement And Orientation. Within a particular subdivision or planned unit development, no more than twenty five percent (25%) of garages may be front loads located at the front of the detached single family dwelling. The following are preferred alternatives to front load garages, which alternatives are illustrated on appendix 1:
 - (a) Side load garages.
 - (b) Side loading front garages. These are garages located in wings in front of the principal facade or entrance facade.

- (d) Recessed front loading garages. Where the two (2) car garage is in a wing that is recessed twenty feet (20') or more behind the front elevation, it shall not be considered a front loaded garage.
- (e) Rear garages. These are either freestanding or attached garages that are located to the rear and that have the view from the street screened by a wing of the building.

(C) Multiple Dwellings. An owner who builds more than one detached single family dwelling must utilize four (4) or more of the following techniques to avoid monotony and ensure quality:

1. Roof Heights. Utilize dissimilar roof heights. One or a combination of the following shall be used to achieve the desired effect:
 - (a) Vary the number of stories on adjoining lots.
 - (b) Vary the roof pitches on otherwise similar detached single family dwellings.
 - (c) Vary the roofline height on the individual detached single family dwelling. The number of stories can be varied on the dwelling. Where the width of the dwelling is changed, the roof can be stepped down even though the stories remain similar. Wings should be of different heights based on different stories or widths.
2. Roof Orientation. Vary roof orientation so that the gable ends are oriented in a different direction than an otherwise similar detached single family dwelling.
3. Floor Plans. Utilize different floor plans with distinctive shapes, such as wings or elements that sharply contrast with adjoining dwellings or significant (at least 20 percent) changes in width of the central dwelling. Repetitive use of a similar form and floor plans having similar masses on different models is not permitted. A wing must protrude from the front of the building a minimum of eight feet (8') to be considered a wing.
4. Placement on Lots. Vary the location of the detached single family dwellings in relation to the required front and side yard setbacks.
5. Rotation or Flipping. Rotate the floor plan by ninety degrees (90°) or utilize a one hundred eighty degree (180°) flip combined with major differences in the plane of the front elevation.
6. Lot Frontage and Size. Utilize significant variation in the width of detached single family dwellings which results in clearly different modules of windows and doors.

7. Architectural Style. Utilize different architectural styles for similar floor plans, which employ all the elements of a given style and are applied consistently throughout the dwelling.
 8. Architectural Details and Features. Utilize different details for the chimney, entrance, garage design, dormers, porches, and building materials to significantly alter the appearance of a detached single family dwelling to make it visually very different.
- (D) Individual Review. The owner shall submit a separate plan for each detached single family dwelling to the building superintendent for individual review and approval prior to issuance of a building permit. Applications shall include photos of the facades of the buildings or architectural elevations of existing dwellings along the same street or cul-de-sac or within one thousand five hundred feet (1,500') of the lot line of the proposed lot, whichever is more restrictive. The building superintendent may, when he deems it necessary to ensure compliance with this section 5-3-11, refer any such application to the architectural board for review and comments.
- (E) Appeals.
1. If the building superintendent denies an application, the owner can appeal that decision to the architectural board within ten (10) days of the denial by filing a written notice of appeal with the village clerk. The architectural board may affirm, modify, or reverse the decision of the building superintendent.
 2. The owner can appeal a decision of the architectural board to the village board within ten (10) days of the denial by filing a written notice of appeal with the village clerk. The village board may affirm, modify, or reverse the decision of the architectural board.
 3. Any appeal under this subsection 5-3-11(E) shall be reviewed in light of the criteria in subsection (b) and (c) and the purposes in subsection (A) of this section.
- (F) Responsibility. It is the responsibility of the owner to establish to the satisfaction of the village that the application fully complies with the provisions of this section.
- (G) Deviations. For good cause shown, the village board may approve deviations from strict conformity with this section when the owner establishes to the satisfaction of the village board that any such deviations are reasonably necessary and are not contrary to the purpose and intent of this section.

The AC is to review the proposed structures in light of the criteria listed above and make any recommendations as appropriate.

RECEIVED

MAR 07 2014



VILLAGE OF LONG GROVE

STRUCTURE/FIXTURE ARCHITECTURAL COMMISSION APPLICATION

DATE: 3.6.14

APPLICANT'S NAME: KCD CONSTRUCTION

E-MAIL: TMILLER@KAMCON.COM

ADDRESS: 2814 PHILLIP DR., CAMPBELL, IL 60030 PHONE: 847 812 3026

NAME OF BUSINESS:

BUSINESS ADDRESS: PHONE:

TYPE OF STRUCTURE/FIXTURE: NEW SINGLE FAMILY RESIDENCE

- 1. LOCATION OF STRUCTURE/FIXTURE ON PROPERTY: A. PROVIDE SITE PLAN. B. PROVIDE PHOTOGRAPH OF SITE. C. SQUARE FOOTAGE OF STRUCTURE SQUARE FEET.

- 2. DRAWING OF PLANNED STRUCTURE/FIXTURE: A. DIMENSIONS. B. ELEVATIONS (ALL DIRECTIONS). C. LIST MATERIALS TO BE USED/SAMPLE OF COLORS.

3. NAME, ADDRESS, AND PHONE NUMBER OF FIRM ERECTING OR MANAGING STRUCTURE: KCD CONSTRUCTION PHONE: 847 812 3026

E-MAIL: TMILLER@KAMCON.COM

The property owner's signature is required below before any application may be processed. It is understood by the property owner(s) that he or she has read and understands the regulations governing the commercial property under this application in the Village of Long Grove, accepts and is liable for any corrections or modifications required to meet the standards of the Village, and further approves the work to be done on their property.

Gregory A. Miller BUSINESS OWNER(S)

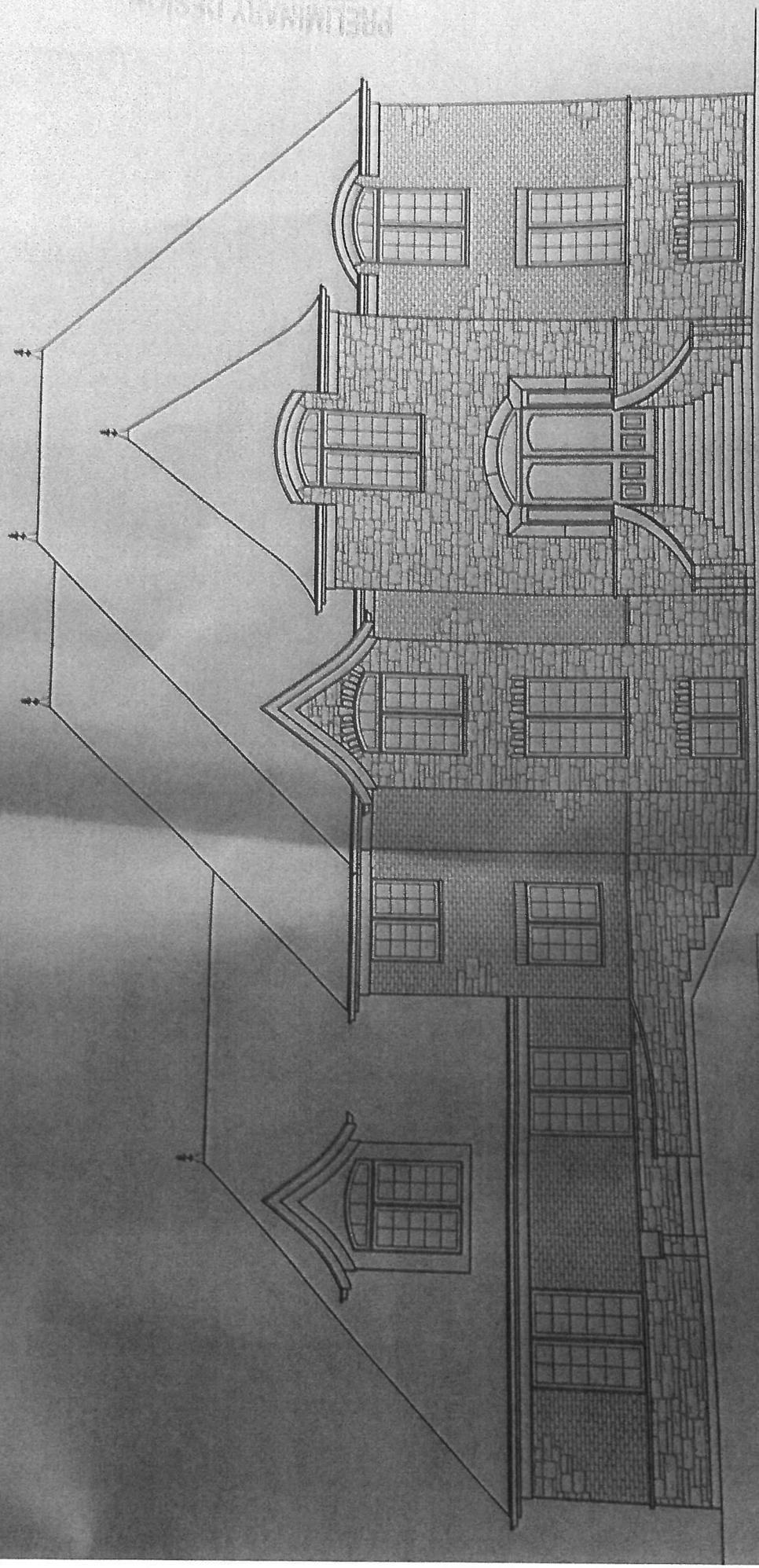
Gregory A. Miller

PROPERTY OWNER(S)

Dileep Varma

APPLICATION APPROVAL: DATE:

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION OR BIDDING



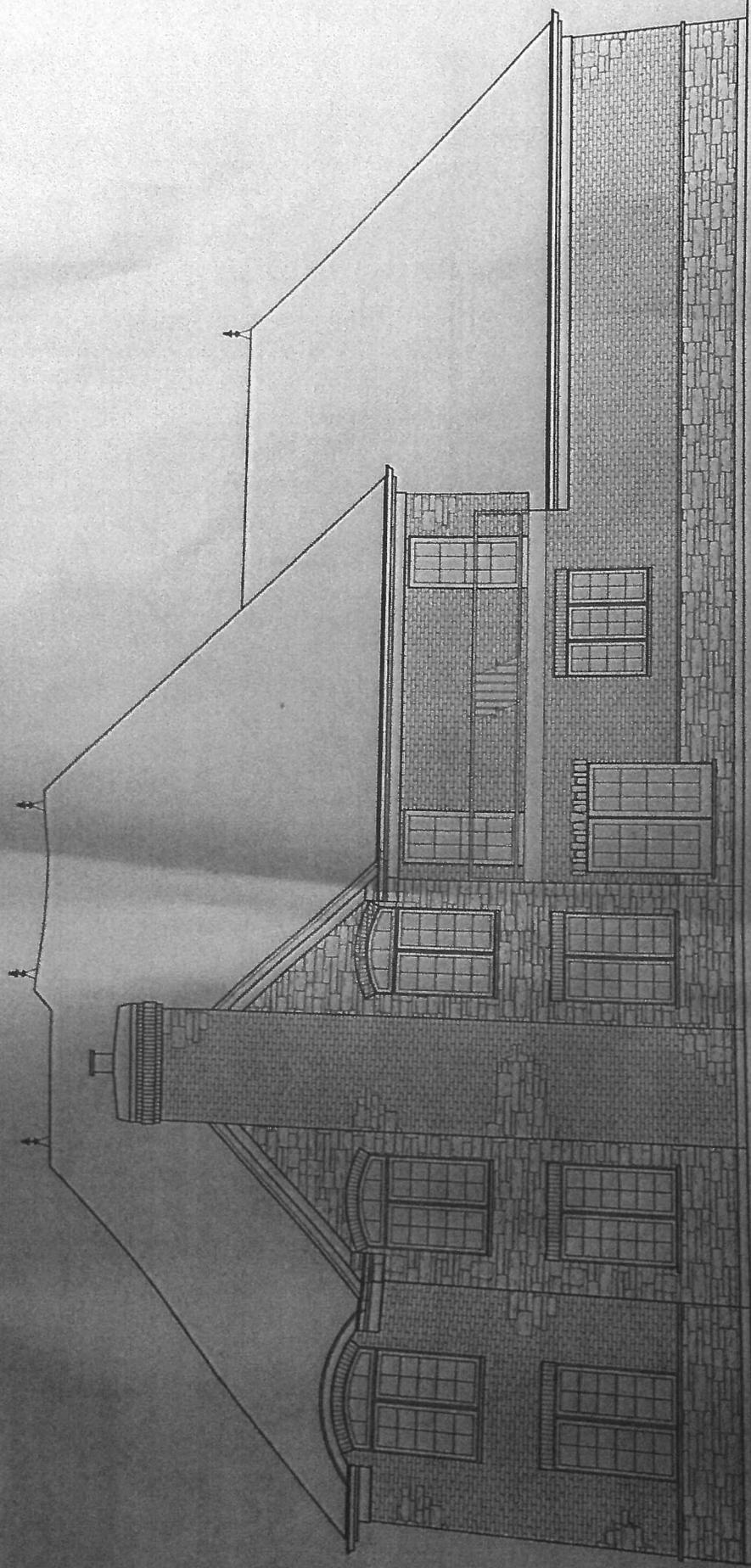
OPTIONAL STONE WALK WILL NEED
PAVING OR SPON GRADING

LOCATION OF ENGLISH TO BE
BASED ON EXISTING

FRONT ELEVATION



1/4" = 1'-0"



REAR ELEVATION



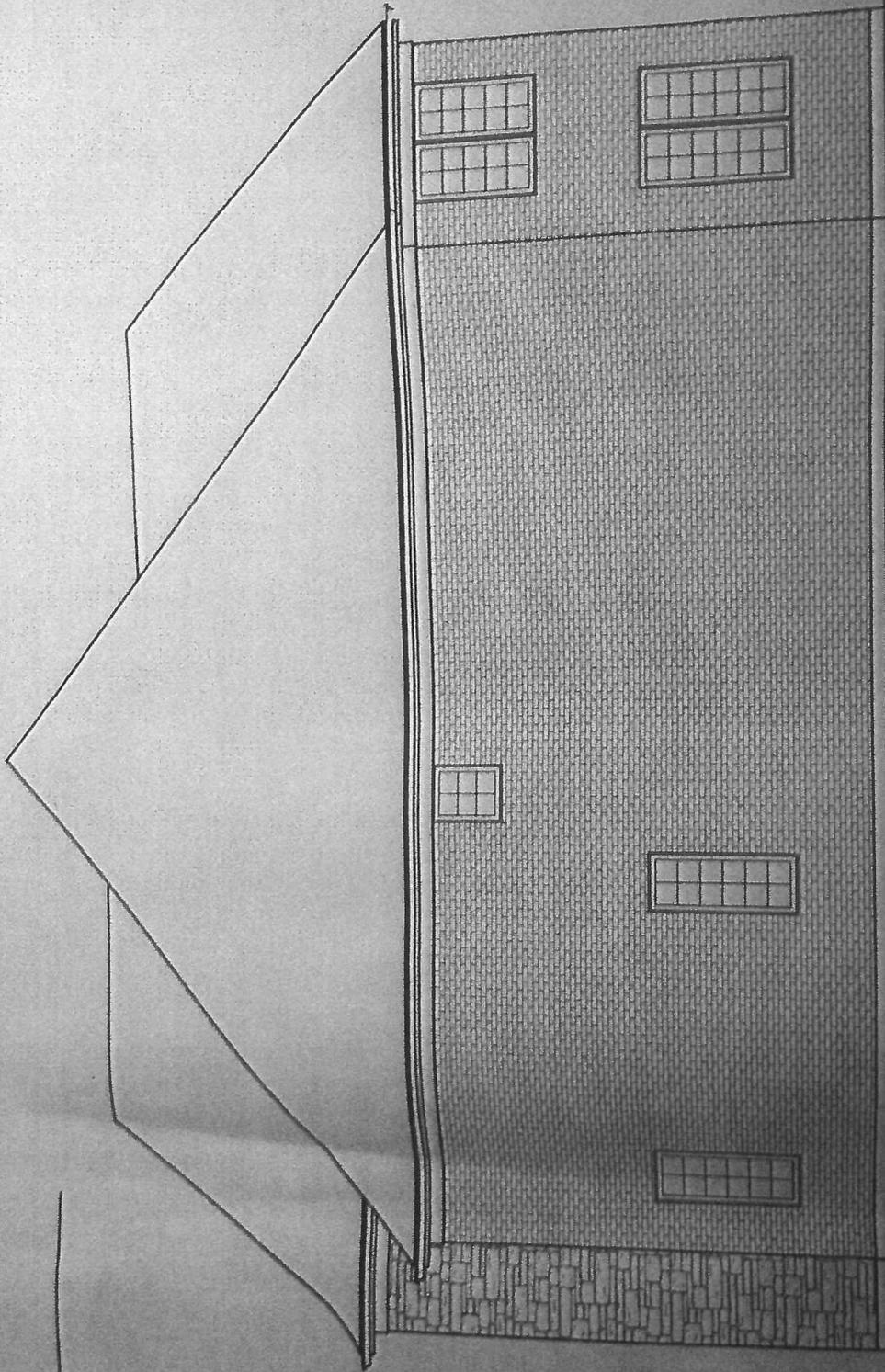
1/4"=1'-0"

6

6

4

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION OR BID



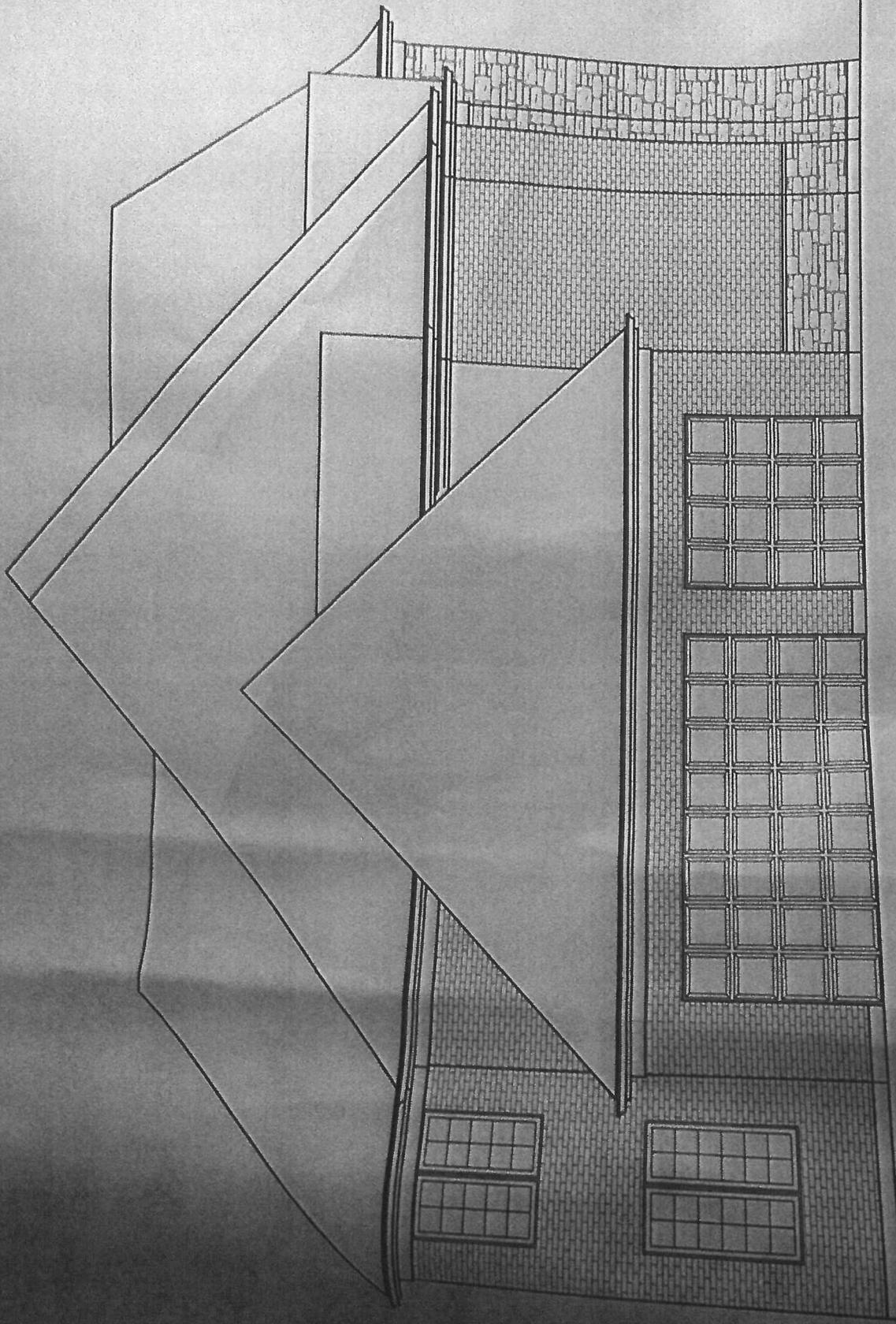
RIGHT ELEVATION

1/4" = 1'-0"

4

3

2



RIGHT ELEVATION

1/4"=1'-0"

